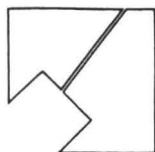


VICTORIAN PATTERN BOOK HOUSES

in
Prince George's County, Maryland



M-NCPPC
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772

Victorian Pattern Book Houses
in Prince George's County, Maryland

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The Commission has three major functions:

- the preparation, adoption, and from time to time amendment or extension of the General Plan for the physical development of the Maryland-Washington Regional District;
- the acquisition, development, operation, and maintenance of a public park system; and
- in Prince George's County only, the operation of the entire County public recreation program.

The Commission operates in each county through a Planning Board, appointed by and responsible to the county government. All local plans, recommendations on zoning amendments, administration of subdivision regulations, and general administration of parks are responsibilities of the Planning Boards.

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 - ...use of land including the enhancement of the physical environment, and
 - ...provision of public facilities and services.
- Works on a set of specific projects and tasks annually set forth in a work program and budget adopted by the Prince George's County Council and performs such other tasks in response to emerging issues as resources permit.
- Works under the direction of the Prince George's County Planning Board.
- Is an organization of people that is here to serve people...our elected and appointed officials, our fellow public staffs, and our citizens...individually and/or collectively. The staff will maintain a partnership with people. It will assist and advise you, and will expect your assistance and advice.
- Maintains competent and professionally able staff to perform our duties and responsibilities.

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VICTORIAN PATTERN BOOK HOUSES IN PRINCE GEORGE'S COUNTY

Introduction

Recent architectural survey work in Prince George's County has identified several examples of late Victorian pattern-book houses, i.e., dwellings constructed from architectural designs which were ordered through the mail. The building of these pattern-book houses became very popular in the last two decades of the nineteenth century. The pattern book phenomenon developed out of the work of the brothers Palliser, and grew with the success of R. W. Shoppell's Cooperative Building Plan Association; it led to the establishment of several new architectural firms, such as those of George F. Barber, D. S. Hopkins, Frank L. Smith, and Frank P. Allen, which produced Victorian house plans available by mail.

Robert W. Shoppell, who worked out of New York City, and whose greatest success was in the areas close to that city, seems also to have had the greatest success (of those firms cited above) in the suburbs which were growing up to the north and east of Washington, D.C. along the Baltimore and Ohio Railroad. The growth of these suburbs, and their successful use of Shoppell designs for houses, were several of the factors which led to the extensive building in these areas of Sears houses in the early twentieth century. George F. Barber, and later Sears, Roebuck and Company, took the process a step further than Shoppell had, by offering for sale not only the house plan, but also the prepared construction materials. After World War I, Sears houses were built with increasing frequency in the growing suburbs of Prince George's County.

This study will concentrate on the Victorian pattern-book house plans of R. W. Shoppell and their use in Prince George's County, Maryland; it will serve as an introduction to the recent survey of Sears houses in the same area of the County. It is part of the on-going research projects of the Prince George's Historic Preservation Commission, implemented by the Planning Department of the Maryland-National Capital Park and Planning Commission with a matching grant from the Certified Local Government Program of the Maryland Historical Trust.

Background and Development of Shoppell's Cooperative Building Plan Association

By the middle of the nineteenth century, the practice of publishing house plans was well established in the United States, particularly in the popular publications of Andrew Jackson Downing. The advent of balloon frame construction, and the construction of railroad lines across more and more of the country, made possible an increase in new residential development, and housing became more accessible to the average citizen. Publications such as those of Samuel Sloan began to appear, e.g., The Model Architect, 1852, showing elevation drawings, floor plans, details and advice to home builders, and even offering estimates of the cost of construction.¹ By the 1870's a new phenomenon appeared: an inexpensive booklet of house plans, offering to the reader the opportunity to purchase those plans through the mail. In 1876 George Palliser of Bridgeport, Connecticut, published Model Homes for the People, an inexpensive booklet which gave not only floor plans and elevations but an estimated cost of construction; moreover the plans and specifications of each design were available by mail from the author for prices as low as \$3.50. In 1878 Palliser and his brother published American Cottage Homes, a larger and more expensive (\$5.00) book which offered 50 designs, mostly in the Stick Style, and offered working drawings by order through the mail. The Pallisers provided, in effect, the first mail-order architect. Their publications were very successful, and they continued to publish architectural plan books well into the twentieth century.²

The Pallisers' publications quickly met with competition from Robert W. Shoppell of New York City. Shoppell established the Cooperative Building Plan Association in the early 1880's, and in 1881 published Artistic Modern Houses of Low Cost. Shoppell's innovation was to establish a staff of 50 architects who produced plans under the name of the Cooperative Building Plan Association. Each design in his publication was accompanied by an estimated price at which the house could be built, and the publication itself was priced so low (25¢) as to guarantee its success.³

In 1883, he published How to Build, Furnish and Decorate. In this second publication, Shoppell explained the Association's purpose: "to publish...copies of elevations and plans representing these structures to assist in building which it was prepared to furnish working plans with complete directions, details, specifications, and estimates of quantities, at a fractional part of the charges made by architects."⁴

Shoppell went a step further, another innovation, in offering the purchasers of this second publication assistance in securing construction loans. Each copy was given a serial number, and the purchaser was requested to send to the Cooperative Building Plan Association his name, address, and the serial number of his copy, thus availing himself of the free services of the Association's Loan Department in negotiating a building loan for him.⁵ This service undoubtedly contributed to the success of the Shoppell publications; the Association depended on growth and active

construction, so Shoppell was quick to assist the professional builder to secure loans. (This loan service was offered by Shoppell for only a short time; in 1886 an introductory note explained that the loans were of too small amounts to be handled by "large monied institutions of New York" and the service was discontinued.)

In 1884 Shoppell produced Building Plans for Modern Low Cost Houses; its preface included numerous suggestions on how to finance construction of a house.⁶ Shoppell worked on the principle that individual construction would enhance the value of the surrounding area, and thus promote further building. Building Plans was therefore addressed not only to the individual home builder, but also to the developer, a subtle but significant change in emphasis. This was a period of growing suburban expansion, and Shoppell's low-price (50¢) book of designs and advice to the potential developer was an important factor in the early stages of that suburban development movement which has continued and increased for over a century.

After the success of these first three publications, Shoppell made the switch to periodical issues, with the quarterly Shoppell's Modern Houses beginning in January 1886. Publication of Modern Houses in quarterly, and sometimes monthly, issues continued until 1907.⁷ In the introductory "Miscellaneous Notes" in the first issue of Modern Houses, the history of Shoppell's Cooperative Building Plan Association was recited:

"The Co-operative Building Plan Association is an Association of Architects. Its history is simply this: Four years ago Mr. Shoppell issued the initial number of a series of pamphlets, giving plans, perspective views and descriptions of a large number of modern houses, mostly of low cost, offering to supply full architectural services for any of the designs or modifications of the same at a low price (a much lower price than they were actually worth), believing that the duplication of the services (which he called Co-operative for want of a better term), would bring him a proper remuneration. He was surprised at the result. Thousands of his pamphlets were sold, and hundreds of houses were built from his Working Plans and Specifications.....The movement attracted the attention of other architects who united their interests, their skill and special knowledge with Mr. Shoppell's, making this one of the largest and best equipped architectural offices in the United States."⁸

At the same time, to counter the criticisms which were inevitably aimed by professional architects, the following statement was offered:

"Many reputable architects do not approve of our business, for the simple reason that we have cut the regular rates of charges. These gentlemen should remember that our patronage comes largely from those who would not employ architects, except at low charges, and that the extent of our business cultivates the public taste, and must result in the more frequent employment of all architects. We do not believe there

is a single influence today that benefits the architectural profession so much as the wide dissemination of our books and plans."⁹

In the subsequent issue of Modern Houses, Shoppell noted that his Association had purchased thirty acres on Long Island (East Rockaway), where he proposed to construct examples of his designs, some of "our most popular houses in order to demonstrate by our own construction and at our own expense the best means of doing the work, the best materials, and the utility of all the latest appliances and improvements ...we will build two or three houses this season. Next year we hope to put up a dozen or more."¹⁰ Some of the East Rockaway houses still stand.

In these quarterly issues, the Cooperative Building Plan Association offered, for \$40, full working plans including detail drawings and specifications of any building estimated at a construction cost of \$2,000 or less. For buildings which were estimated at more than \$2,000 construction cost, the price of plans, drawings and specifications would be 2% of the estimated cost. The issues offered a wide range of costs, from a small \$400 cottage to an ornate \$6,000 villa. Shoppell's charges were, he claimed, approximately one quarter of regular architects' fees.¹¹

Shoppell gave his reader guidelines by which he should proceed to build his house. First the builder should select a design according to the cost of construction which he could afford, and his own preference in size and style; he should then order a complete set of working plans and specifications, and after receiving them (by return mail) examine them carefully to determine whether any modifications might be desired; if modifications were needed, he should then write to the Association a detailed description of desired changes, and the Association architects would respond with advice as to feasibility and effect on construction cost, and would make the changes in the plans and specifications for an additional charge of approximately \$5.00. Once satisfied with the plans and specifications, the builder should then invite bids from building contractors, and award the contract to the lowest approved bidder; he should then inform the Association as to the contractor, agreed price, time of completion and any other pertinent details, and the Association would then write out an Agreement in proper legal form.¹²

Altogether, the client would receive working plans of foundation, floors, roof and elevations at a scale of 1/4 inch to the foot; detail drawings of cornice, verandas, windows, doors, gables, mantels, staircases, trim, etc., in large scale (See Figure 1.); specifications describing materials and workmanship; a bill of materials giving detailed quantities of the materials required (see Figures 2A-D); a color sheet showing elevations in colors and instructions for painting; a supplement sheet with information regarding cisterns, privies and indoor plumbing; and blank contracts ready for use.¹³

Between 1886 and 1888, Shoppell produced another publication, the Builders' Portfolio and Hand-Book, directed not to the general public as were his other publications, but to contractors only. The house designs

SHOPPELL'S MODERN HOUSES

REDUCED SPECIMENS OF OUR DETAILED DRAWINGS

IN addition to the scale drawings of the Elevations and of the Foundation, Floor and Roof Plans, the Specifications, and the Bill of Quantities, as a part of our Working Plans, we give large scale and full size drawings of the Details of all Exterior and Interior trim, such as piazzas, gables, stairways, windows, doors, etc. These Details make the work so clear that the intelligent mechanic cannot make mistakes, and they are absolutely essential to carry out the unity and beauty of the designs. The specimens shown on this page are much reduced, being less than one-third, and some of them less than one-sixth the original size; they are selected from the higher-cost designs mostly, the Details of the low-cost houses being simpler and less expensive, yet beautiful and effective in execution.

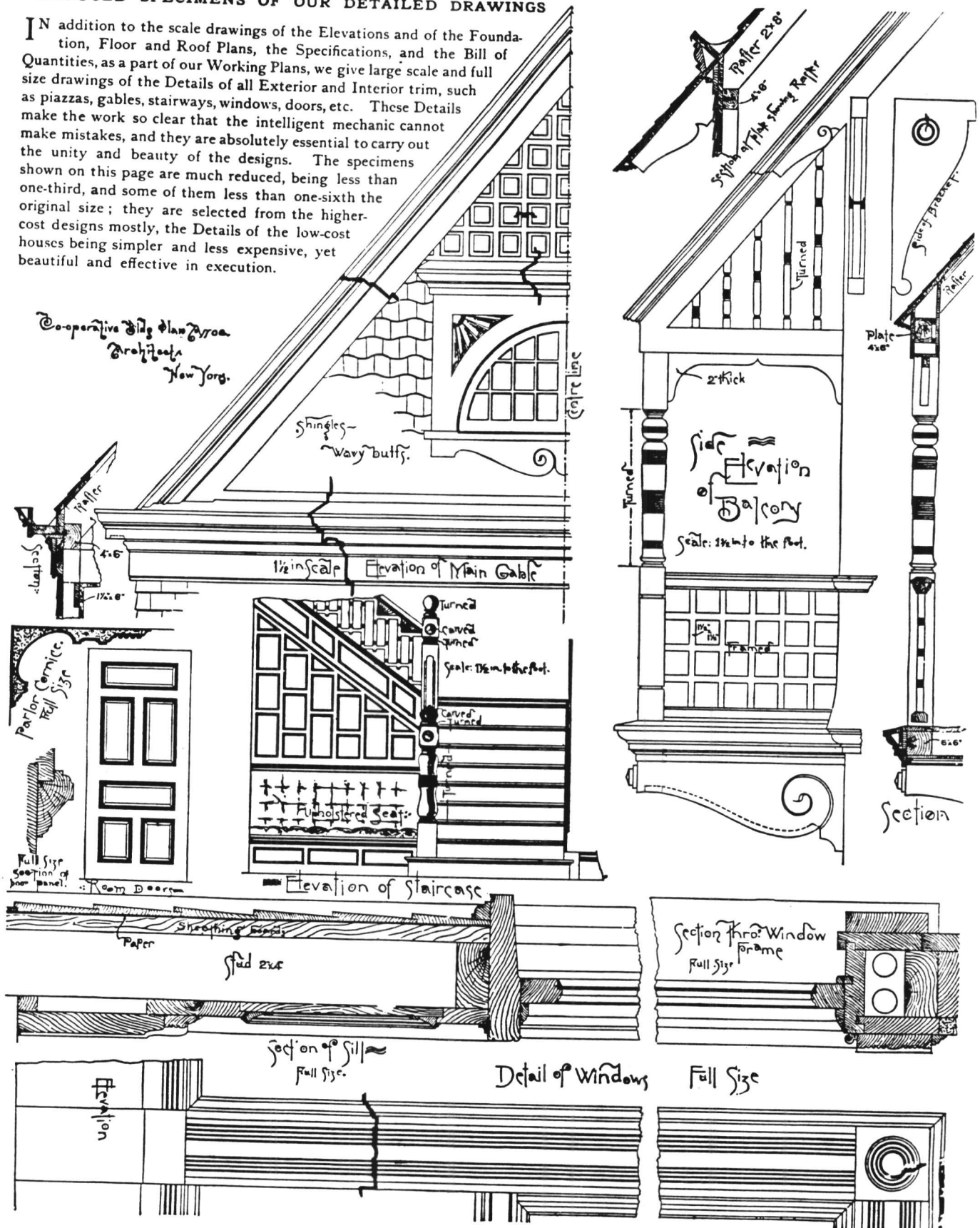
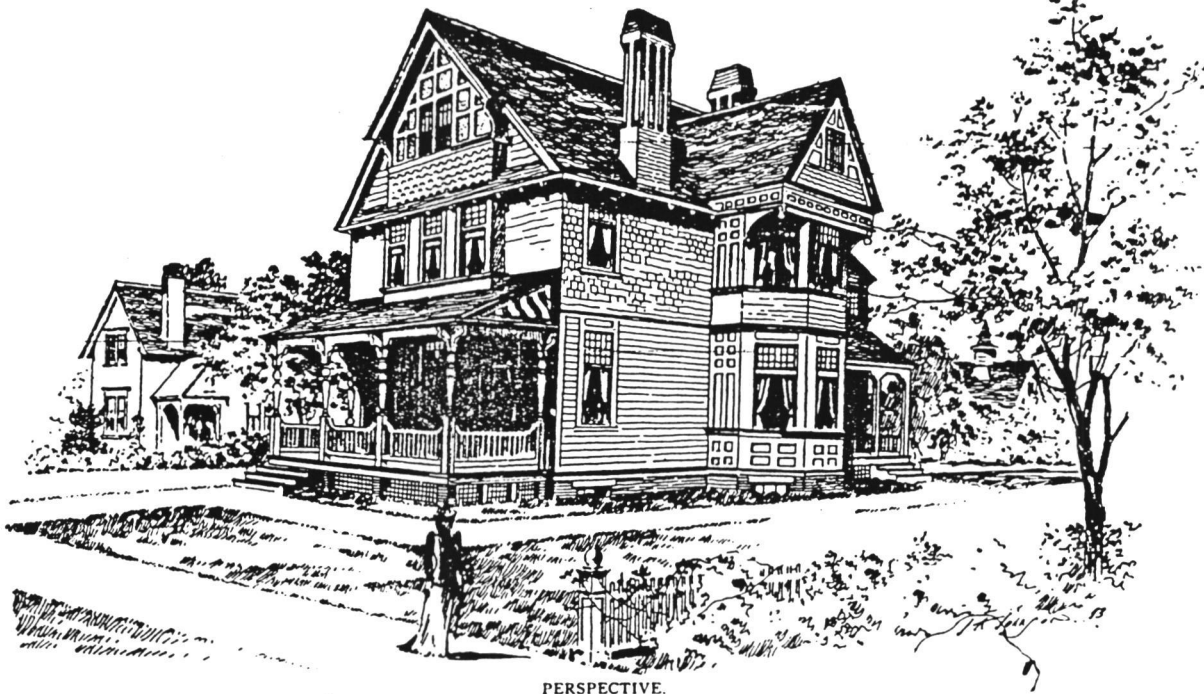


Figure 1. Detail Specimens, Modern Houses, Vol. I, No.2, April 1886.



PERSPECTIVE.

Methods by which all Costs are Figured for the Designs in Shoppell's Modern Houses.

The following is a Complete Bill of Materials for Design No. 936, giving cost in detail. By substituting local prices the cost for any locality is found, and all estimates in our books will bear the same relative proportion.

DESCRIPTION.

For explanation of all symbols (*† etc.) see page 149.

GENERAL DIMENSIONS: Width, through dining-room and library, 32 ft.; depth, including veranda, 50 ft. 6 ins.

HEIGHTS OF STORIES: Cellar, 7 ft.; first story, 9 ft. 8 ins.; second story, 8 ft. 10 ins.

EXTERIOR MATERIALS: Foundations, stone and brick; first story, clapboards; second story and roofs, shingles; gables, panels and shingles. Outside blinds to all windows except those of the cellar and attic.

INTERIOR FINISH: Hard white plaster; plaster cornices and centers in parlor, hall, library and dining-room. Soft wood flooring and trim. Panels under windows in parlor, library and dining-room. Stairs, ash. Bath-room and kitchen wainscoted. Interior woodwork finished in hard oil.

COLORS: Clapboards, seal brown. Trim, outside doors and blinds, and veranda floor, maroon. Sashes and rain conductors, dark green. Veranda ceiling, varnished. Brickwork, Indian red. Panels in gables, seal brown; frames around panels, maroon. Wall shingles dipped and brush coated light sienna stain. Roof shingles dipped and brush coated Indian red stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar under kitchen, dining and sitting-rooms; walls extended under whole house. Attic floored, but unfinished; space for

three fine rooms. Sliding doors connect parlor, library and dining-room. Fireplaces and mantels in library and parlor. Double front door with glazed single vestibule door. Hat and coat closet under main stairs.

COST: \$3,507.† (see following Bill of Materials for full explanation regarding prices), not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

Price of working plans (with full details drawn to large scale), specifications and * license to build, - - - - - \$30.00
Price of †† bill of materials, - - - - - 10.00

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be reduced in size. Two front bedrooms may be combined, or the smaller form an alcove off the larger. Fireplaces and mantels may be omitted. Rear chimney will suffice if heating apparatus be used. Veranda may be extended at either side.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

A Complete Bill of Materials for Design No. 936.

ESTIMATE OF MATERIALS AND LABOR.

The Asterisk (*) prefixed to a line denotes that materials and labor are both included.

	Quan.	Price.	Cost.	Local Cost.
MASON'S MATERIALS.				
FOOTINGS.				
*Stone footing for main walls.....	300	cub. ft.		
*Stone " " interior walls and piers.....	66	"		
	366		\$.16	\$58.56
STONEWORK.				
*Rubble work in foundations.....	1,170	cub. ft.		
*Rubble " " partition walls or piers.....	326	"		
	1,496		.16	\$239.36
CUT STONEWORK.				
6 Stone sills for cellar windows, 24"x26" lin. ft.	30		.25	\$ 7.50
1 Stone lintel for kitchen fireplace, 24" x 12" lin. ft.	8		.25	2.00
1 Cap for chimney, 24-in. thick, 2'x5' 10 84. ft.				
1 " " 24-in. thick, 2'x4' 8 "	18		.65	11.70
BRICKWORK.				
*Hard 2 1/2 in. in cellar walls.....	5,400	per M laid.		
*Hard brick in piers, partition walls, areas, etc.....	1,020	"		
*Hard brick in chimneys.....	4,830	"		
	11,250		15.00	170.25
*Select stock brick for topping out chimneys, etc.....	2,500		18.00	45.00
*Press brick for mantels of parlor and library.....	300		40.00	12.00
Carried forward.....				\$642.96

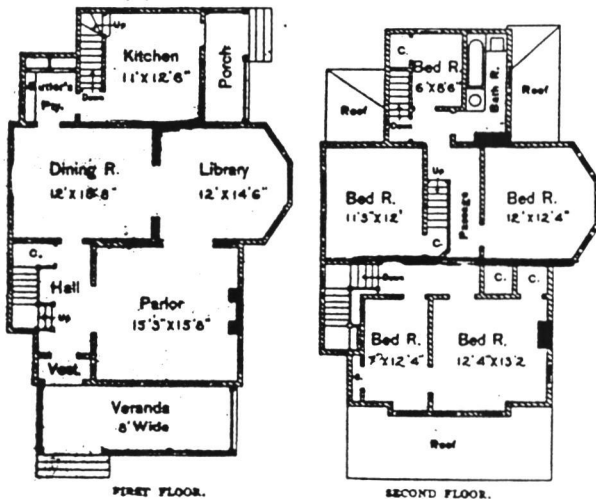


Figure 2. Sample Bill of materials, Modern Houses, #37, pp. 140-143, 1892 (2A)

SHOPPELL'S MODERN HOUSES.

	Quant.	Price.	Total Cost.
Brought forward.....			\$647.90
MASONRY.			
Gate hearth in kitchen, 16"x8".....	6 3/4	.84	5.52
" " library, 16"x8".....	4 1/2		
" " parlor, 16"x8".....	7-1/8		
Sixty-five tumbles and covers.....	3	.25	.75
PLASTERING.			
Greatest work in 1st story.....	418 sq. yds.		
" " " "	490		
Note. Required for the above 10,700 laths; 7 cys. vels. sand, 20 bbls. lime, 42 pounds hair, bbls. plaster Paris, 107 pounds lath nails.	911	.25	227.75
Cornice in 1st story, 2"x5".....			
Centre-pieces, (1) 20-in., (1) 16-in.....	5	2.00	10.00
Total for Mason's Materials.....			<u>\$885.56</u>
CARPENTERS' MATERIALS.			
1 Piece for girders, 6"x8"x15"....	60 ft. B. M.		
2 " " sills, 4"x6"x25".....	94		
1 " " " 4"x6"x25".....	80		
1 " " " 4"x6"x18".....	36		
1 " " " 4"x6"x15".....	30		
1 " " " 4"x6"x16".....	31		
1 " " " 4"x6"x24".....	48		
40 " " floor joists, 2"x10"x18" Long			
" " " " 2"x10"x18" Long			
12 " " " 2"x10"x9".....	180		
20 " " " 2"x10"x".....			
156 " " " 3x6".....	805		
18 Pieces for floor joists, 2"x8"x16".....	432		
25 " " " 2"x8"x14".....	470		
2 " " " corner posts, 4"x6"x1".....	374		
2 " " " 4"x6"x19".....	74		
156 " " studding for frame, 2"x4" x196".....	2,000		
36 Pieces studding for frame, 2"x4"x14".....	336		
2 Pieces studding for parti- tions, 2"x4"x10".....	47		
10 Pieces studding for parti- tions, 2"x4"x18".....	1,764		
50 Pieces studding for parti- tions, 2"x4"x16".....	534		
25 Lin. ft. for girts, 1"x6".....	37		
156 " " plates, 4"x6".....	306		
42 Pieces for rafters, 2"x6"x19".....	798		
16 " " " 2"x6"x14".....	224		
2 " " hip 3"x7"x14".....	49		
2 " " valley rafter, 8" x17"x24".....	84		
Carried forward.....			10,960

	Quant.	Price.	Local Cost.
Brought forward.....	10800 ft. B.M.		
2 Pieces for valley rafters, 2"x12".....	42 "		
1 Piece for ridge, 2"x8"x16".....	21 "		
1 " " " 2"x8"x17".....	23 "		
1 " " " 2"x8"x18".....	44 "		
16 " " collar beams, 2"x6"x14".....	274 "		
5 Pieces for collar beams, 2"x6"x12".....	60 "		
4 Pieces for collar beams, 2"x6"x10".....	40 "		
VERANDA TIMBER.			
1 Piece for veranda sills, 4"x8"x22'6".....	62 ft. B.M.		
1 Piece for veranda sills, 4"x8"x13'36".....	36 "		
4 " " cross sills, 3"x8"x8'.....	64 "		
4 " " " 3"x8"x5'.....	30 "		
1 " " plates, 4"x8"x18'.....	48 "		
1 " " " 4"x8"x23'.....	62 "		
1 " " " 4"x8"x16'.....	43 "		
1 " " floor joists, 2"x8"x13'.....	52 "		
4 " " " 2"x8"x22'.....	117 "		
11 " " ceiling " 2"x4"x8'.....	88 "		
" " " 2"x4"x5'.....	24 "		
11 " " rafters, 2"x4"x10'.....	74 "		
" " " 2"x4"x7'.....	31 "		
	12,036		
Wastage, 10%.....	1,200		
	13,236	\$ 15.00	\$198.54
LUMBER, 40.			
Boarding, 1 1/2"x3".....	lin. ft.	4.80	4.80
Boarding, 1 1/2"x4".....	800	2.40	1,920
Shathing for side walls, hemlock dressed.....	3,532 sq. ft. per. M		
Shathing for roofs, hemlock dressed.....	2,250 " "		
		5,000	16,000
Shathing paper, rosin sized.....	sq. ft. per. M.	3,500	2,500
Chimneys.....	" "	1,000	25,000
Shingles for side walls, white pine cut butts.....	per. M.	2,500	8,000
Shingles for side walls, white pine, square shaped, 6"x18".....	" "	11,000	6,500
Shingles for roofs, white pine, bunch 18 in. long.....	" "	18,000	5,000
			90,000
Carried forward			
			80,500.59

	Quant.	Price.	Cost.	Local Cost.
Brought forward.....			\$666.79	
Flooring, 1st story, 1"x6", white pine, 1,800 ft. R. M.				
Flooring, 3d story, 1"x6", white pine, 1st quality, 1,700 "	1,800	\$62.00	76.00	
Flooring, attic, 1"x6", spruce, 1 ft. R. M.	1,080	56.00	56.75	
Flooring for veranda, 1"x6", T. & G. white pine	720	.08	9.60	
FINISHING WORK OUTSIDE FRAME.				
Water table, 1"x12", 184 lin. ft.	184	ft. R. M.		
Corner boards, 1 1/2"x4 1/2", 200 lin. ft.	130			
Casings, 1 1/2"x4 1/2", 374 lin. ft.	187			
Handls, 1 1/2"x6", 300 lin. ft.	187			
Bell moulding, 1 1/2"x4 1/2".....lin. ft.	680	.08	19.80	
Panel stuff, 1 1/2"x4", 367 lin. ft.	138	.08 1/2	4.38	
" 5/8"x4", T. and G.	368			
Brackets (2), 36"x18"x4".....	36			
Crown moulding, 1 1/2"x4 1/2".....lin. ft.	840	.08	17.88	
Verge boards and linings, 1"x30".....ft. B. M.	318	.03 1/2	11.13	
Cornices, bed moulding.....ft. B. M.	296	.08	8.66	
Gutter stuff, 86 lin. ft.	735	.01	2.56	
".....ft. B. M.	100	.08	3.00	
(2) Brackets, 24"x26".....	90	.03	2.70	
Moulding as band, 1-in.....lin. ft.	40	.02 1/2	.54	
Moulding under sill.....	60	.01	.60	
Bay window ceiling, 5/8"x4", grounds of panels.....ft. B. M.	600	.08	12.00	
Rattles and rails, 100 lin. ft., 1 1/2"x4 1/2", 80 "				
" " 144 lin. ft., 1 1/2"x12", 180 "	380	.03	7.80	
Moulding in panel.....lin. ft.	174	.00 1/2	1.05	
VERANDAS AND PORCH.				
Cornice fascia, 1"x6", 41 lin. ft.	14	ft. R. M.		
Plate covering, 1"x32", 39 lin. ft.	73	ft. B. M.		
Crown moulding, 1 1/2"x6".....lin. ft.	84	.03	2.54	
Turned spindle (6), 8"x8"x14".....19 ft. B. M.	84	.03	2.54	
Brackets (10), 16"x12"x3".....	35			
Posts, fancy turned, 6"x6"x6".....	44	.08	1.22	
Stuff in railing and balusters.....ft. B. M.	6	2.50	15.00	
Panel work, sidos, rafters.....	130	.04	5.30	
Stops, 1 1/2-in. white pine, 34 lin. ft.	51			
Risers, 5/8", 34 lin. ft.	30			
Strings.....	16			
Facin or water table, 1"x6", 42 lin. ft.	11			
Cove moulding, 5".....lin. ft.	136	.05	6.80	
Lattice under sill.....ft. B. M.	70	.00 1/2	.43	
Stuff for lattice panel.....	30	.08	1.80	
Stuff for lattice panel.....ft. B. M.	35	.03	1.05	
Carried forward.....			\$774.18	

	Quan.	Price.	Oret.	Local Oret.
Brought forward.....			\$774.18	
"x"x ceiling..... ft. R.M.	300	\$.03	.90	
Oval moulding, N-in..... lin.ft.	60	.00%	.20	
RACK BENCH OR STOOP.				
" in. stuff in platform risers and fa-la..... 45 ft. 14 M.				
Treads..... 30 "				
Bails, 2"x3" each, 12 lin.ft..... 12 "				
Posts, (3) 6"x6", boxing, 8'6"..... 45 "				
Balusters, 3"x2", 66 lin.ft..... 22 "				
Plate covering, 22"x1", 14 No. ft..... 34 "				
Ceiling, A"x3"..... ft. R.M.	100	.05	5.00	
Lattice under sills..... sq. ft.	16	.08	.80	
Stuff for lattice panel..... ft. B.M.	15	.03	.45	
Oval moulding..... lin. ft.	42	.00%	.26	
RARKER.				
Pair sash for 1st story, 3'x5'x14"..... 10	1.50	36.00		
" " " 3'x5'x14"..... 1		1.60		
" " " 3'x5'x14"..... 1		1.60		
" " 2d story, 3'x5'x14"..... 10	1.50	23.00		
" " " 3'x5'x14"..... 1		1.30		
HINGED SASH.				
Pair double hung sash for attic, 3'x5'x14"..... 4	1.10	4.40		
" " " 2d story, 3'x5'x14"..... 2	1.30	2.60		
Single sash for cellar, 3'x1'6"x14"..... 6	.68	3.90		
LUMBER FOR WINDOW FRAMES.				
400 Lin. ft. pulley sills, 1"x5"=..... 167 ft. B.M.				
167 " sills, 1"x5"=..... 108 "				
167 " sub-sills, 2"x5"=..... 140 "				
400 " stops for blinds, 14"x 1 1/2"=..... 67 "				
80 Lin. ft. plank for cellar frames, 1 1/2"x6"=..... 45 "				
Lin. ft. moulding under sills..... ft. B.M.	824	.08	15.72	
	167	.01	1.67	
INSIDE WINDOW TRIM.				
20 Lin. ft. stool cape for 1st story. 1"x6"=..... 7 ft. R.M.				
52 Lin. ft. stool cape for 2d story. 1"x6"=..... 17 "				
20 Lin. ft. aprons for 1st story, 1"x 4"=..... 7 "				
52 Lin. ft. aprons for 2d story, 1"x 4"=..... 17 "				
Carried forward.....	68	.04	1.92	
			\$774.78	

SHOPPELL'S MODERN HOUSES.

	Quan.	Price.	Cost.	Local Cost.
Brought forward.....				8974.73
Moulded casings for 1st story, 1"x 6x"-..... ^{260 lin. ft.}				
Moulded casings for 3d story, 1"x 6x"-..... ^{.183 "}				
Parting strip, X"xX".....lin. ft.	443	\$.05	13.39	
Stop bead for saash, X"xX"....."	400	.00%	2.40	
Lia. ft. wall moulding for windows.....	436	.01	4.35	
Corner blocks.....	475	.00%	2.85	
Plinth ".....	92	.06	5.50	
Panled backs, white pine, average 3T'XT'.....	16	.63	.49	
	8	1.80	12.80	
DOORS,				
Pair front doors, 6 panels, 4'S'xtS'xlK'.....	1		8.00	
Vestibule door, glass panel, S'T'S'xlK'.....	1		6.80	
Outside door for rear kitchen, S'T'S'xlK'.....	1		3.84	
Pair sliding doors, 6 panels, S'XS'XL'.....	2	11.00	22.00	
" folding doors, rebated, S'XT'S'xlK'.....	1		6.30	
Doors, 4 panels for 1st story, S'XS'XT'xlK'.....	2	2.98	5.96	
" " " pantry, S'XT'S'xlK'.....	1		2.40	
" " " cellar, S'XS'XS'xlK'.....	1		2.13	
" " " 3d story, S'XS'XS'xlK'.....	4	2.87	14.88	
" " " " S'XS'XS'xlK'.....	2	2.23	4.44	
" " closet, S'XS'XS'xlK'.....	5	2.28	11.15	
" " stairway, T's'XS'S'xlK'.....	3	2.13	4.96	
Pair glazed door for dresser, T's'T's'xlK'.....	2	1.00-	2.00	
LUMBER FOR DOOR JACKS,				
30 Lin. ft. for front door, 1K'xs'-.....	15	ft B.M.		
18k " " vestibule door, 1'xs'. "	9	"		
18k " " other outside doors.....	10	"		
1N'xs'.....	32	"		
70 Lin. ft. for sliding door, 1'xs'-.....	36	"		
20 " " " 1M'x12'.....	163	"		
Etc " " ordinary doors, 1'xs'.....				
	344	.84	9.76	
Lia. ft. pine, moulded door stops, K'xs'....	480	.01 1/2	6.75	
TRIM FOR DOORS,				
Lia. ft. 1"x6" moulded casings for 1st story. " 1'xi', wall moulding for 1st story.....	 846	 .85	 8.78	
Corner blocks.....	30	.06	1.80	
Plinth blocks.....	30	.03	.90	
Lia. ft. 1"x6", casings for 3d story.....	367	.03	10.71	
" 1'xi', wall moulding for 3d story.....	411	.06 1/2	2.66	
Corner blocks for 3d story.....	36	.06	1.98	
Plinth blocks for 3d story.....	36	.08	1.08	
160 Lia. ft. 1"x6" plath casings in closets.....ft. B.M.	47	.08	3.41	
Carried forward.....				\$1090.42

	Quan.	Price.	Unit.	Local Cost.
Brought forward.....				\$1080.42
STAIRS—MAIN FLOOR.				
Rough carriages, 5"x7", hemlock..... ft. R. M.	82	\$.02		1.64
Strings, white pine, 1 1/2-in..... "	72	.01		2.88
Platform timber, rough spruce.....	80	.02		1.60
Treads, yellow pine, 1 1/2-in..... 60 ft. R. M.				
Risers, yellow pine, 1/2"..... 32 "				
	92	.02 1/2		2.72
Moulding for 1/2", yellow pine.....lin. ft.	44	.05 1/2		.28
" nosing and cove, yellow pine.....	82	.01		.32
" 1"x1 1/2", white pine for wall.....	24	.01		.24
Facia, white pine.....ft. R. M.	7	.04		.28
Brackets, rough hemlock.....	30	.02		.60
Platform stuff, 1 1/2"x2", yellow pine.....	30	.03 1/2		1.05
Hand rail, ash.....lin. ft.	18	13		1.80
Balusters, ash, 3-in.....	35	.18		2.51
Main newel, ash, 8"x8", turned.....	3	2.60		7.80
Platform or angle newels, 8"x8".....	3	2.60		7.80
Celling or paneling under stairs.....sq. ft.	70	.30		21.00
BACK AND ATTIC STAIRS, 3 FLOORS.				
Strings.....80 ft. R. M.				
Treads, 1 1/2-in.....100 "				
Risers, 1/2-in.....52 "				
	382	.03		4.98
CELLAR STAIRS.				
Brackets, 1 1/2-in. spruce.....80 ft. R. M.				
Treads, 1 1/2-in. spruce.....50 "				
	130	.02		2.60
BASE OR SKIRTING.				
304 Lin. ft. 1"x2" for 1st story.....ft. R. M.	140	.04		5.60
304 " 1"x1" moulding for 1st story.....	204	.00 1/2		1.53
282 " 1"x1" for 2d story.....ft. R. M.	186	.04		7.44
282 " 1"x1" moulding for 2d story.....	272	.00 1/2		1.88
78 " 1"x2" for closets.....ft. R. M.	37	.08		3.11
DOOR SADDLES AND KEASTS BORDERS.				
78 Lin. ft. yellow pine, 1/2"x2", for saddles.....	78	.02		1.60
25 " ash, 1/2"x2", for borders.....	25	.01		.25
WOOD MANTELS.				
Mantel for parlor, ash.....				25.00
" library.....				25.00
SHELVING AND BOOK STOPS.				
128 Lin. ft. shelving, 1"x1 1/2".....128 ft. R. M.				
78 " book strips, 1"x2".....57 "				
78 " shelf cleats, 1"x2".....12 "				
	174	.03		5.22
4 " counter shelf for pantry, 1 1/2"x2".....	18	.04		.60
WAINSCOTING.				
Celling strips in kitchen, 1/2"x2", yellow pine.....127 sq. ft.				
Celling strips in bathroom, 1/2"x2", yellow pine.....140 "				
	277	.08		22.51
Carried forward.....				\$1197.50

	Quan.	Price.	Cost.	Local Cost.
Brought forward.....			42191.80	
Capping.....lin. ft.	78	\$.91%	1.13	
Floor moulding....."	78	.81	.76	
BATHROOM FITTINGS.				
Tub top, ash, 4-in..... 4 sq. ft.				
Water closet, seat, ssp, back and sides, ash..... 4 sq. ft.	8	.68	.68	
FITTINGS FOR SINK.				
Drip board and top.....sq. ft.	7	.66	.42	
Supports for sink, 3-in. turned ash logs.....	2	.16	.30	
DRESSER.				
Drawers—pine lumber for same..... 78 ft. B.M.				
Pine lumber for frame..... 21 "	99	.84	2.96	
Mouldings, 1"x1", for drawers.....lin. ft.	42	.80%	.35	
Crown moulding, 1"x3"....."	6	.02	.12	
Band moulding, 1"x1"....."	6	.01	.06	
MISCELLANEOUS.				
Pipe stripping and casing, and bell board.....sq. ft.	16	.83	.65	
Angle beads.....lin. ft.	36	.91%	.54	
Total for Carpenter's Materials.....			51198.62	
HARDWARE.				
Common nails.....lbs.	909	.03	934.00	
Finishing nails....."	280	.06	14.00	
Brads and screws.....			2.00	
Pair bronze butts, 4"x1", for front door.....	3	.66	1.38	
" " " 4"x1", for vestibule.....	1		.66	
" japanned iron butts, 2 1/2"x3 1/2" for doors inside.....	22	.12	2.64	
Pair japanned iron butts, 2 1/2"x3 1/2", for dresser.....	4	.09	.36	
" " " 2 1/2-in. for casement windows.....	4	.07	.28	
Pair japanned iron butts, 3-in. for attic.....	8	.06	.48	
" " " " cellar.....	6	.02	.12	
Front door lock, 6-in. Yale mortise, bronzed front.....	1		3.80	
Vestibule door lock w/ match, bronzed front.....	1		3.80	
Sliding door lock, brass front.....	3	1.00	2.80	
4-inch mortise door locks, brass face.....	10	.23	2.30	
4-inch rim door locks.....	11	.26	2.78	
Buttons and plates for collar windows.....	6	.02	.12	
Pair front door knobs, English Imperial bronze.....	3	1.80	3.08	
" vestibule door knobs, black china.....	1		.15	
" knobs for 1st story, black china.....	9			
" " for 2d story, ".....	14			
	23	.10	2.30	
Carried forward.....			597.45	

	Quan.	Price.	Cost.	Local Cost.
Brought forward.....			\$97.65	
Drawer pulls, Berlin bronze.....	12	\$.08	.96	
Small knobs for cupboards, etc.....	2	.03	.06	
Note sliding door flush furniture and stop.....	2	.75	1.50	
Ft. brass rail for sliding doors.....	20	.10	2.00	
Sets slot sheaves for sliding doors.....	2	1.40	2.80	
Hooks and staples for cellar sash.....	6	.02	.12	
Finish bolts for front door, 1½"x12".....	1	"	.25	
" " " " 1½"x24".....	1	"	.40	
" " " folding door, 1½"x12".....	1	"	.25	
" " " " 1½"x24".....	1	"	.40	
Barrel " " kitchen door (4-in.).....	2	.10	.20	
Rash fasteners for attic.....	4	.05	.20	
" " " other windows.....	22	.15	3.45	
" lifta, Berlin bronze hook.....	44	.05	2.20	
" weights..... lbs.	245	.01¼	4.14	
" cord.....	7	.30	2.10	
" pulleys.....	92	.02½	2.30	
Cupboard catches.....	2	.05	.10	
Hooks for pots.....	12	.02	.24	
Clothes hooks, Gem wire.....	48	.02	.96	
Base knobs.....	18	.08	1.50	
Gong bell, 8-in., complete.....	1	"	2.00	
Total for Hardware.....			\$64.78	
TINNING.				
Gutter lining..... sq lin. ft.				
Valley..... "				
Flashings..... "				
2-in. leaders..... sq lin. ft.	81	.10	8.10	
1-in. "..... "	24	.10	2.40	
Final, 2-ft. fancy..... "	1		8.80	
Total for Tinner's Materials (including labor).....			\$64.76	
PLUMBING.				
LIn. ft. 4-in. cast iron pipe for vertical soil pipe and drain in cellar.....	30	.18	5.40	
LIn. ft. 4-in. cast iron ventilation pipes.....	18	.12	2.16	
Lead pipe for water and waste service throughout the house..... lbs.	480	.04	19.20	
Lead trap, basin and sink.....	2	.50	1.00	
*Finished brass cocks, ¾-in.....	2	.75	1.50	
Rough.....	1	.70	.70	
Plated bath cocks, ¾-in.....	2	1.50	3.00	
" basin " ¾-in.....	2	1.00	2.00	
Set plated strainer, plug, chain and stay.....	1	.75	.75	
Sink in kitchen, 16"x24"x2", galv. cast iron.....	1	"	2.80	
Kitchen boiler and standard, couplings, etc., complete, 20 gall. galv. iron.....	1	"	12.00	
Marbled overflow basin, 14-in.....	1	"	1.50	
Carried forward.....			\$99.21	

Figure 2C (continued)

SHOPPELL'S MODERN HOUSES.

	Quan.	Price.	Cost.	Local Cost.
Brought forward.				
Varble slab, back and sides	sq. ft.	87	\$.80	\$66.61
1/2 in. tub, 14-in. copper lined	sq. ft.	1		8.34
Water closet, porcelain, with elation, etc.		1		14.00
Local safe		1		23.00
Fixings, including solder, charcoal, etc.		1		8.60
Total for Plumber's Materials				\$127.35
*PAINTING.				
20 Sq. yds. to paint 3 times on all exterior work	sq. yds.	13.50	.07	\$94.50
20 Sq. yds. to stain on shingling side walls		191	.07	12.67
20 Sq. yds. to stain two times on shingling roof		500	.07	35.00
20 Sq. yds. to paint 3 times on brick-work		112	.07	7.84
20 Sq. yds. to stain inside work		200	.05	10.00
20 Sq. yds. to grain fill and hard oil varnish		300	.14	\$3.30
1 lb. putty		50	.03	1.50
Total of Painter's Materials (including labor)				\$214.71
MASON'S LABOR.				
NOTE.—For other Mason's labor see items under the heading Mason's materials.				
Excavation for cellar, trenches for walls, piers, etc., per cu. yd.		172	.25	\$43.00
Footings of Mason's Labor				\$43.00
CARPENTER'S LABOR.				
Framing, raising and enclosing; including siding, shingling, roofing, exterior trimming, making and setting frames in exterior walls.				
Laying floors, setting minor partitions and grounds for plastering				\$402.00
Finishing veranda and porch				\$7.00
Setting inside trim, stairs, etc., hanging sash and doors, fixing hardware, and all carpenter's inside work not included above				\$91.00
Total Carpenter's Labor				\$900.00
PLUMBING LABOR.				
NOTE. Tinner's labor and Painter's labor are included with materials given in another place.				
Plumber's labor, including setting of range, but not including any work outside of house				\$90.00

Cost. Local Cost.

RECAPITULATION.	
Mason's materials (including some labor)	\$723.86
Carpenter's materials	1170.65
Hardware	94.78
Tinning—materials and labor	44.76
Plumbing materials	127.35
Painting—materials and labor	214.71
Mason's labor	43.00
Carpenter's labor	900.00
Plumbing labor	90.00
Cost of House	\$3507.82

\$3,507.82 is the cost of this design as given by us. It is the cost of the labor and materials to the Contractor, and is based on New York prices (for concise list see page 149). In many localities the cost is much less. To complete the house, heating apparatus, range and mantels are needed, the cost of which must be added to our cost. (This bill only allows for two ash mantels, costing \$35 each.) The Contractor's profit must also be added.

The items above mentioned are not included in our estimate of cost, for the reason that client's usually prefer to select their own heating apparatus, mantels, and range (see page 149).

Heating costs from \$125 upward, according to the system and apparatus selected.

Ranges cost from \$25 upward.

Mantels cost from \$10 upward.

Contractor's profit from 10 per cent. to 30 per cent., according to circumstances.

The following are suggested as suitable for this house (the owner may prefer those of higher or lower cost, in which case they may be substituted):

1 Heater.....\$250.00
1 Range.....60.00
1 Mantel (\$45 each).....90.00
Line \$30 allowed in bill for 2 ash mantels.....80.00
Allowance for Contractor's profit for this locality 30 per cent. (a very liberal profit).....701.56
Contract price complete (covering everything and finishing house in vicinity of New York).....\$4,550.56

The correct and a very simple way to get the contract price complete, including heating, mantels and range, is to add 30 per cent. to the cost given by us (this is presuming that the heating apparatus is to be a hot-air furnace).

For Example: This house, costing \$4,550.56, which is about the contract price given in this bill.

Adding 30 per cent. will give us \$4,550.56, which is about the contract price given in this bill.

In a very few cases will the cost run as high as this, and in many cases it will be much less.

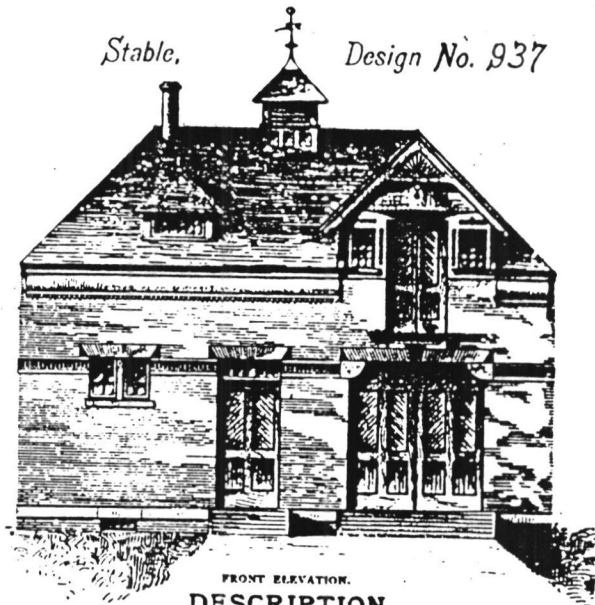
In many localities where labor and materials are cheaper than in the vicinity of New York the cost will be from 30 per cent. to 40 per cent. less, and can be readily computed by substituting local prices for those given in the bill of materials or by comparison with those on page 149.

We will be pleased at any time to give the intending builder the cost for any of our designs in his locality.

Plans may be returned if cost exceeds our estimate. (For terms and conditions of exchange of plans see page 149.)

NOTE.—In furnishing bills of materials the price and cost columns are not filled in. They are left blank to be filled in with local prices.

Stable, Design No. 937



DESCRIPTION.

For explanation of all symbols († etc.) see page 149.

GENERAL DIMENSIONS: Width, 31 ft. 4 in.; depth, 30 ft.
HEIGHTS OF STORIES: First story, 9 ft. 6 in.; loft, at ridge, 11 ft.
EXTERIOR MATERIALS: Foundation and first and second story walls, brick; roof, slate.

INTERIOR FINISH: Man's room in loft, plastered, 1 1/2 inch flooring, first story. White pine flooring in loft. All other work throughout white pine. All woodwork in stalls and carriage room finished in oil. Woodwork in man's room, painted in colors to suit owner.

COLORS: All outside brickwork, oiled. Trim, dark green. Sashes, dark red. Outside doors, oiled.

ACCOMMODATIONS: The principal features and accommodations are shown by the floor plans. Man's room and two closets finished in loft. Loft also contains a feed-room with two large bins and hay storage room. The stable is ventilated by a shaft carried from stable ceiling to ventilator in roof. A terra cotta chimney provides means of heating the man's room in loft. Carriage wash in carriage room.

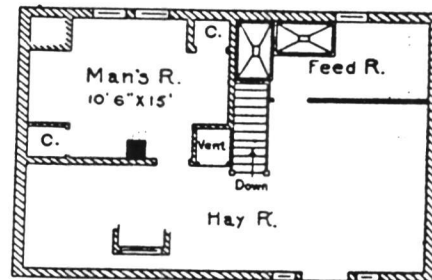
COST: \$1,050. † The estimate is based on † New York prices for materials and labor. In many sections of the country the cost should be less.

Price of working plans (with full details drawn to large scale), specifications and † license to build, \$15.00.

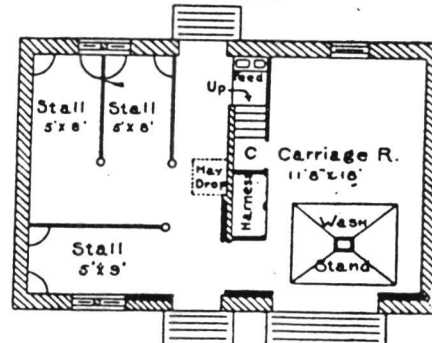
Price of † bill of materials, \$15.00.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be introduced under the whole or portion of the building. The man's room in the loft can be omitted. By a re-arrangement of the stalls, two stalls and a box stall may be provided instead of three single stalls.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



SECOND FLOOR.



FIRST FLOOR.

were published in a portfolio, without cost estimates; the estimates were published in a separate and confidential handbook so that a contractor could discuss the portfolio designs with his potential client, and add to the confidential base price a percentage of profit for himself.¹⁴ (See Figure 3.) This Shoppell innovation was another significant contribution to the suburban development phenomenon.

The Shoppell publications were very quickly a great success. By 1887, the preface of Modern Houses stated:

"Six years ago this business was an experiment. Today it enjoys a larger patronage than any other architectural office in the world. No less than eight thousand houses have been built from its plans. The reason is that it supplies a necessity on the most accommodating terms."

Shoppell's experiment had matured just at the time of great suburban expansion, and offered to middle class Americans amenities which had formerly been available only to the wealthy. His house plans reflected the taste of the time, bringing high standards of design and the latest architectural trends to countless middle class home builders.

In the late 1880's and the 1890's, the Cooperative Building Plan Association produced thousands of designs of the typical late Victorian dwellings in which middle and upper class Americans lived or aspired to live. Shoppell's publications during this period preserved for the future first-hand information about the materials, proportions, and decorative details of these buildings. The designs and their descriptions, reflecting the popular taste of the period, give details of plan, e.g., projecting bays, both semi-octagonal and rectangular, cutaway corner bays, square and octagonal towers with pyramidal or domical roofs, and quite frequently an octagonal tower on one elevation and a rectangular tower on another. Building material was predominantly wood, although brick and stone were also used. Foundations were of brick or stone, but "cemented" basements became increasingly frequent. Roofs were by far the most frequently cross-gabled, although there were some gambrel, hip and mansard roofs, and in the 1890's the number of jerkinhead roofs increased. Roofs were usually covered with wood shingle, while a smaller number were covered with slate. Wrought iron, galvanized metal, or terra cotta acroteria frequently highlighted the peaks of towers and gables. Chimneys were of brick, generally tall and wide, and with corbelled caps; chimneys in the more expensive designs were exuberantly panelled. Windows were often arranged in pairs, and most frequently had many small lights in the upper sash and a single light in the lower sash. Small border lights, usually of colored glass, were also very popular. Dormer windows were often in lunette or pseudo-Palladian form; later in the 1890's, shed dormers began to appear. Many windows, especially those in projecting bays, were embellished beneath with geometric paneling. There was considerable variety in the siding, which together with projecting bays, towers, and porches, provided the most decorative detail in the buildings. Frequently the second story and upper gable ends were sided with ornamental shingles, over a first story of horizontal board. Gable ends were exuberantly

THE BUILDERS' PORTFOLIO AND HAND-BOOK

THE PORTFOLIO

Contains 100 heavy bristol board plates, large quarto in size, on which are finely printed the views and plans of 115 different houses and barns, ranging in cost from \$500 up, drawings of remodeling an old house, three methods of building a cistern, and an elevation in colors showing modern style of painting. No prices are given on plates—these are all figured out in detail in the accompanying separate Hand-Book. The Portfolio has leather back and corners.

PREPARED AND PUBLISHED BY THE

Co-operative Building Plan Association, Architects,
191 BROADWAY, NEW YORK.

UNDER THE SUPERVISION OF R. W. SHOPPELL AND STANLEY S. COVERT.

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VIEW OF THE BUILDERS' PORTFOLIO AND HAND-BOOK—ONE-FIFTH THE FULL SIZE.

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paneled with geometric, ramiform (branch-pattern), and ray-pattern paneling (See, for example, Figure 20). Porches added variety to the plan; they were frequently facade-wide, and more often wraparound, filling corners and often having two levels. Porch posts were most often turned and bracketed, and spindle friezes were popular, but in the 1890's slim Tuscan and square-panelled columns began to appear with increasing frequency. Railings were either of turned or plain rectangular balusters, though some were geometric (pseudo- Chippendale) in pattern. Spaces between porch piers were almost always infilled with lattice.¹⁵

Use of contemporary paint colors was recommended. "Cultivated people will endure no longer the 'white house and green shutter style' for exteriors, and 'graining' for interiors." A color sheet, published in Volume 10 of Modern Houses in 1889, gave examples of advice about paint colors; separate recommendations were given for a house surrounded by trees, and for one without trees. A house in a setting of green foliage should offer a contrast of browns and purple; colors suggested were light brown (with a touch of blue) for the first story, a sienna stain for the second story, light "chocolate" for the trim on both stories, and dark red for the roof. For a house without a setting of trees, the color scheme should include green to offer rest to the eye: suggested colors were "light cool green" for the first story, a burnt sienna stain for the second story (shingles), and "bronze green" trim for both stories. Lively color was recommended for further details: yellow for gable panels, red for window sashes and for the roof shingles, dark green for shutters, and "bronze green" for the outside doors.¹⁶

Interiors of the Shoppell dwellings showed asymmetrical floor plans, with polygonal room shapes usually grouped around side or central halls. Wood trim was usually of multi-band molding with bulls-eye or floral corner blocks. Staircases were usually closed string, with turned balusters, and heavy panelled newels. Double sliding doors which retracted into wall pockets were most popular between halls and parlors. Formal rooms on the first story were fitted with fireplaces (although the mantels were usually not included in the construction cost estimates), while heating pipes extended to the second story rooms which for the most part did not have fireplaces. Alcoves, nooks and closets were frequent.¹⁵

One of the popular features (which Shoppell's plans reflected and rendered even more popular) was the open entry hall, warmed by a fireplace and highlighted by an ornate open staircase.

"The narrow, cold and cheerless staircase hall will soon be a thing of the past. The hall is now made a useful and beautiful feature of every good design. It should be square rather than long and narrow, thus making it a room rather than a passage. It should have a fireplace, not only for the sake of comfort and beauty, but for the reason that a fireplace in the lower hall ventilates the whole house,It should have a beautiful staircase [with] at least one platform to afford a rest...Winding steps should never be built where they can be avoided... It should display some stained glass...The hall



VIEW OF A HALL AND STAIRCASE

THE HALL AND STAIRCASE

THE narrow, cold and cheerless staircase hall will soon be a thing of the past. The hall is now made a useful and beautiful feature of every good design.

It should be square rather than long and narrow, thus making it a room rather than a passage.

It should have a fireplace, not only for the sake of comfort and beauty, but for the reason that a fireplace in the lower hall ventilates the whole house, more or less. The impoverished air from adjoining rooms and from the upper floors (bad air is heavy and descends) is attracted to it and carried off.

It should have a beautiful staircase (not necessarily with risers not over seven inches, treads not less than ten inches) at least one platform to afford a rest and make the ascent and descent easy. Winding steps should never be built where they can be avoided.

It should display some stained glass, if stained glass is used. The hall does not require full light; a subdued light is best. It should have a hat and coat closet.

It should be protected from cold and draughts by a vestibule or storm doors during the winter season.

Figure 4. Modern Houses, Selected Designs

does not require full light; a subdued light is better...It should have a hat and coat closet. It should be protected from cold and draughts by a vestibule and storm doors during the winter season."¹⁷

This type of large but cozy stairhall, often with a built-in seat or alcove and lighted by stained glass windows, became an increasingly popular feature in the more expensive house designs. (See Figure 4.) It will be further discussed in the section concerning Design #462.

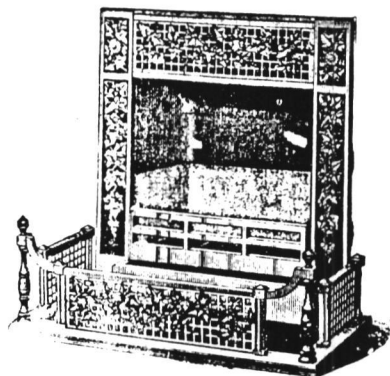
Advertisements included at the back of each issue of Modern Houses reveal much about what was available to builders and owners of stylish dwellings. One issue, for example, included ads for everything from paints, roofing materials, mantels and wall paper, to bath and laundry tubs and flushable toilets, panelled metal ceilings, dumb waiters, wood Venetian blinds, stained glass and radiators. (See Figure 5A&B.)

In most issues of Modern Houses, Shoppell printed testimonials which the Association had received in praise of the publications, both from editors of other publications, and from individual home builders. Most of the testimonials are fairly repetitious, but their geographic range indicates that the Shoppell publications were becoming well-known at considerable distances from New York City.

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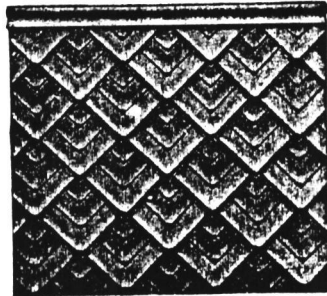
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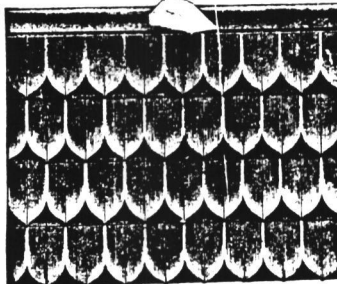
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"'Shoppell's Modern Houses' is a phenomenal success. It is prepared with great care and serves admirably the purpose for which it is intended. Those who contemplate the building of houses could not do a wiser thing than to study the plans which it contains." - Daily News, Savannah, Georgia.¹⁸

Many individual homebuilders wrote enthusiastic testimonials for the Association, including two, printed in the 1890 issues of Modern Houses, from Prince George's County, Maryland.

L.R.C. Towles, of Accokeek, Maryland, wrote in November 1889:

"I consider that dealing with you has saved me several hundred dollars. I built from your design and the cost was less than your estimate. Without your specifications and bill of materials I could not possibly have prevented the contractor from cheating me.

Very truly yours,

L.R.C. Towles, M.D."¹⁹

In October 1888, Dr. Leroy C. Towles had purchased from the Clagett family 17-1/2 acres of Cedar Hill, part of a larger tract of land on the south bank of the Piscataway Creek in the area known as Farmington. On this land he built a small cottage in 1889, and his letter to Shoppell indicates that he considered that he got the best of the bargain. Over the next several years, Towles built a small surgery under a separate roof, and several farm buildings. There he operated his surgeon's office, and managed a small farm. After Dr. Towles death, his widow sold Cedar Hill; the property was described as improved by an eight-room frame house and separate four-room doctor's office.²⁰ The buildings no longer stand.

Commander Daniel Ammen also wrote a testimonial letter to Shoppell, which was printed in the 1890 issues of Modern Houses:

"Ammendale, Md., Dec. 7th, 1889

In reply to your inquiry I have to say that I am entirely satisfied with your plan and estimates furnished me, and with the cottage I built. It is thought very well of, and I consider your business treatment valuable, honest and straightforward. I would not build again without availing myself of your aid.

Very truly yours,

Dan'l Ammen"²¹

Daniel Ammen, who had served as a U.S. Navy Commander during the Civil War, in 1869 purchased 128 acres of land called "Happy Home" near Vansville; on it he built a large cross-gable frame house with Gothic

Revival decorative trim, which became his home until his death in 1898. By the mid-1870's, this area had come to be known as Ammendale, and the Baltimore and Ohio Railroad established a stop there known as Ammendale Station. In 1880, Ammen (by then Rear Admiral) sold twenty acres of his land on the opposite (west) side of the railroad to the Christian Brothers for the establishment of a Catholic school and novitiate; on it they built the large and impressive Queen Anne style Ammendale Normal Institute. In 1885, after Admiral Ammen had retired from the Navy, he published a monograph entitled "Country Homes and their Improvement", as well as articles ("Country Homes and Who Should Have Them", and "The Improvement of a Country Home") in agricultural journals, in which he described the healthfulness of rural living, and advised on the construction of outbuildings, and the various factors in landscaping and plantings. In 1889 he purchased plans from Shoppell and built a modest tenant dwelling, about which he wrote the above-cited testimonial. This tenant cottage apparently no longer stands; "Happy Home", which was sold by Ammen's widow in 1903, burned to the ground in the 1950's.²²

Suburban Development in Prince George's County

The 1880's represented a period of tremendous residential development in areas outside of major cities. Like New York City, where suburban communities were rapidly developing in Long Island and New Jersey, Washington, D.C. was also experiencing expansion. The area that is of particular interest in Prince George's County is that to the north and east of the Federal City, where suburban development clustered along the lines of the Baltimore and Ohio Railroad. This railroad line had been completed between Washington and Baltimore in the summer of 1835, and within a generation, Hyattsville and Beltsville had become well established communities. (See maps, Appendix A:1 and 2) Hyattsville especially was highly regarded as a suburban residence for people who worked in the Federal City.

"Hyattsville, on the Washington Branch of the Baltimore and Ohio Railroad, is a beautiful village, tasteful houses in the modern style of architecture, ornamented with gardens and lawns ...it has gradually increased in beauty and prosperity until it stands as one of the foremost villages between Baltimore and Washington."²³

By the mid-1880's, land speculators and developers began looking for ways of duplicating Hyattsville's success. One of the first of these was Edward Graves, who in 1887 purchased 383 acres bounded on the west by the Baltimore and Ohio Railroad and immediately south of the old Branchville Road. The community which developed at this location came to be known as Charlton Heights (later Berwyn Heights). In the first year of its development, 1888, approximately twenty dwellings were constructed, more than half from Shoppell designs. Charlton Heights never came close to equaling the success of Hyattsville. It grew slowly, and by 1910 had a popula-

tion of only 150 (in 38 dwellings) most of whom used the B&O Railroad to commute to businesses in Washington, D.C. Many of its late Victorian frame dwellings still stand, however, and it remains the best collection of Shoppell-designed houses in Prince George's County.²⁴

At the same time, other residential suburban communities were springing up along the railroad line: Fox and Lutz's subdivision of the Calvert estate (Riversdale) into Riverdale Park, John O. Johnson's establishment of College Park out of the northmost section of the Calvert estate adjoining the Maryland Agricultural College, and Francis Shanabrook's Central Heights (now called Berwyn) were all laid out along the B&O Railroad in 1889. (See map, Appendix B.)

While College Park was populated principally by families associated with the College, the other suburbs were for the most part built for professionals and businessmen who used the train for commuting, and the success of the new residential development depended heavily on the railroad. It is not surprising therefore to find that the railroad lines themselves advertised in Shoppell's publications, which were to a significant extent directed at land speculators and developers. The 1890 issues of Modern Houses, for example, carry advertisements for the Erie Railway: "Suburban Homes convenient to New York City. Commutation Rates. Superior Train Service" and a map showing the branch lines in New Jersey, accompanied by "as will be seen in the above illustration, New York's beautiful suburban homes are on the line of the ERIE RAILWAY." Even the midwest railroad lines began to advertise in Modern Houses. The Missouri Pacific Railway advertised its route between St. Louis and Kansas City, and its Colorado Short Line to Pueblo and Denver; it offered "folders descriptive of the Suburban Homes on the line of the Missouri Pacific and Iron Mountain Route."²⁵

Of particular interest to this study is the advertisement of the Baltimore and Ohio Railroad which appeared in Shoppell's 1888 "Artistic Modern Houses of Low Cost":

"Pleasant and Profitable Homes in Virginia, West Virginia, and Maryland on the Baltimore and Ohio Railroad - Low priced farmlands, cheap Grazing lands, large forests of rich timber lands - Profitable Mineral lands, Convenient Markets, Excellent Schools, Pleasant Social Advantages. Productive Fruit lands. No storms, droughts or cyclones. If you contemplate changing location, write to undersigned for information about this country and inducements offered new settlers by the Baltimore and Ohio Railroad. Always take the Baltimore and Ohio Railroad.

M. V. Richards
Land and Immigration Agent
Baltimore and Ohio Railroad, Baltimore, Maryland."²⁶

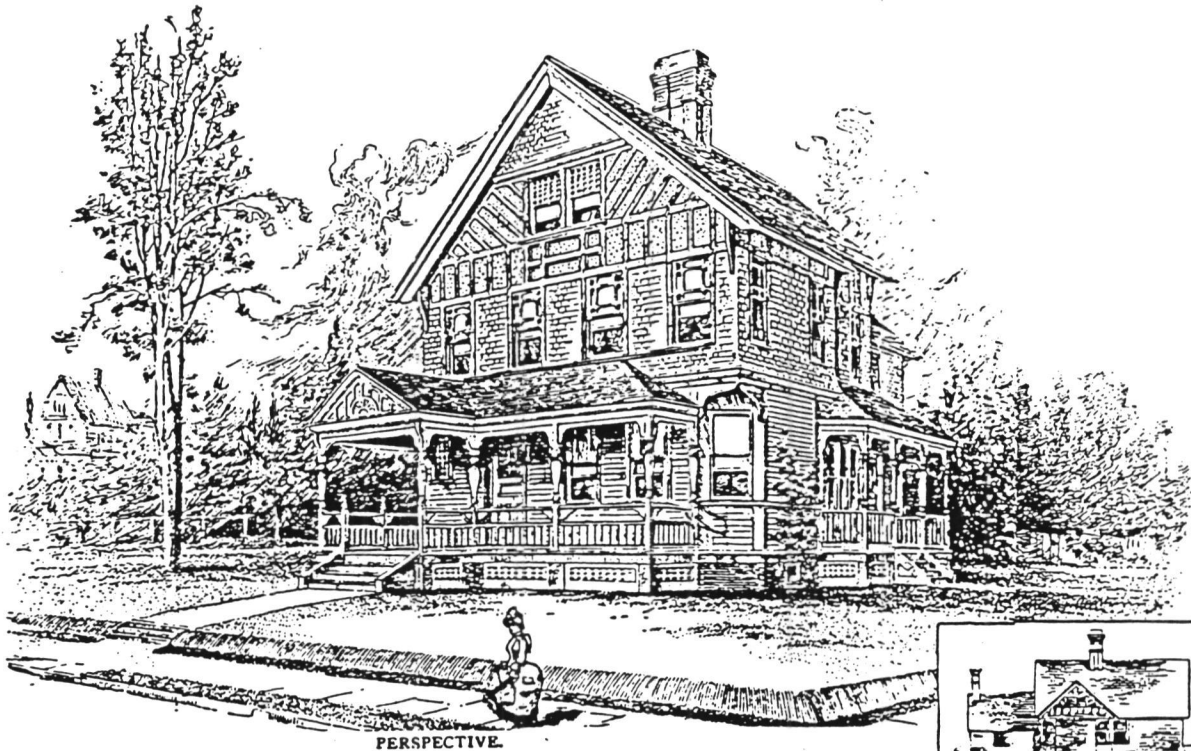
In the Spring of 1889, when the development of Washington's railroad suburbs was reaching its peak, the Baltimore American newspaper ran a

series of ten articles by Robert W. Shoppell, each one showing a perspective drawing and floor plan of a Shoppell-designed building. Each item in this series was set up in the format of a feature article, with an introductory paragraph on some aspect of home building; this was followed by a description of the size, materials, accommodations, special features and construction cost of each of the illustrated designs, in the same manner employed in Modern Houses. The series began with "One Thousand Dollars: A Model House to be built for that Sum", which described a small frame cottage. It included "Building a Stable: Plans for a model Stable and Carriage House", and "A Model \$3,000 House: A Plan and Sketch of a beautiful Summer House". The series culminated with "A Fine Colonial Home: It Costs \$7,000 but it is a very complete Structure"; this article described a large and elaborate Colonial Revival style frame mansion, with the comment that one design from this series "should study the wants of the rich man." Although the address of the Cooperative Building Plan Association was not given in any of the articles of the series, and purchase of the designs was not directly solicited, each sketch was signed "R.W. Shoppell, Architect, N.Y.", thus bringing Shoppell's name before a wide audience at a time when suburban development was booming in the Baltimore-Washington area.²⁷

Documented Shoppell Designs in Prince George's County

The first documented Shoppell design to appear in one of the Prince George's County suburbs of Washington was built in 1887 by Clarence McEwen in the second subdivision of Hyattsville. Much of the land of this mid-nineteenth century town was owned by merchant/postmaster Christopher C. Hyatt, after whom the community took its name. In 1873, Hyatt had a twenty-acre section of his land surveyed and platted as "Hyatt's Addition to Hyattsville"; it soon became a desirable place of residence for commuters by the Baltimore and Ohio Railroad into Washington. In 1882 George Johnson and Louis Wine purchased 196 acres adjoining the older section of Hyattsville, and had it subdivided into 100 building lots and parkland which they called "Wine and Johnson's First Addition to Hyattsville." In February 1887 Clarence McEwen purchased two unimproved lots in this new subdivision. He ordered house plan #444, illustrated in Shoppell's Modern Houses of that year. (See Figure 6 and map, Appendix C:1.) With a few modifications (adapted from design #337, See Figure 7), McEwen built a large front-gabled frame dwelling with fine Queen Anne style decorative detail: ornamental wall surfacing (fishscale shingles, geometric and ramiform paneling), windows with colored border lights, a wrap-around porch, and projecting and cutaway corner bays. (PG #68-16, See Figure 8).

Outstanding interior features included fireplaces in the dining room, stairhall, parlor, library and one upstairs bedroom, as well as heating pipes from a furnace in the cellar; the cellar itself had a concrete floor. To the rear was a kitchen wing with a rear stair to a bedroom above. Recommended exterior colors (which McEwen apparently followed) were light brown for the board siding, dark brown for window trim and paneling, and



DESCRIPTION.

For explanation of all symbols (*† etc.) see page 42.

GENERAL DIMENSIONS: Extreme width, 32 ft.; depth, including veranda, 54 ft. Heights of stories: Cellar, 7 ft.; first story, 9 ft.; second story, 8 ft. 4 in.; attic, 8 ft.

EXTERIOR MATERIALS: Foundations, stone and brick; first story, clapboards; second story and roof, shingles; gables, panels and shingles. Outside blinds.

INTERIOR FINISH: Hard white plaster. Cellar ceiling plastered one heavy coat. Soft wood flooring and trim. Ash stairs. Wainscot in bath-room. Panels under windows in parlor, library and dining room. Interior wood-work stained to suit owner, finished in hard oil.

COLORS: Clapboards, light brown. Trim, blinds and sashes, dark brown. Outside doors, dark brown with light brown panels. Veranda floor, dark drab. Veranda ceiling, varnished. Rain conductors, dark green. Brick-work, Indian red. Wall shingles dipped and brush coated with umber stain. Roof shingles dipped and brush coated with dark red stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar with concrete floor under whole house. A bedroom, a trunk-room, and a hallway finished in attic. Furnace pipes from cellar throughout the house, with registers, are included in estimate. Fireplaces with mantels in dining room, hall, parlor, library and one bedroom.

COST: \$3,363, † not including range and heater. The estimate is based on † New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and * license to build, \$30.00

Price for †† bill of materials, 5.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 63 Broadway, New York.

FEASIBLE MODIFICATIONS: Heights of stories, colors and sizes of rooms and kinds of materials, may be changed. Cellar may be reduced in size and concrete floor may be omitted. A part or all plumbing and any or all fireplaces and mantels may be omitted. Verandas may be reduced, extended or omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to

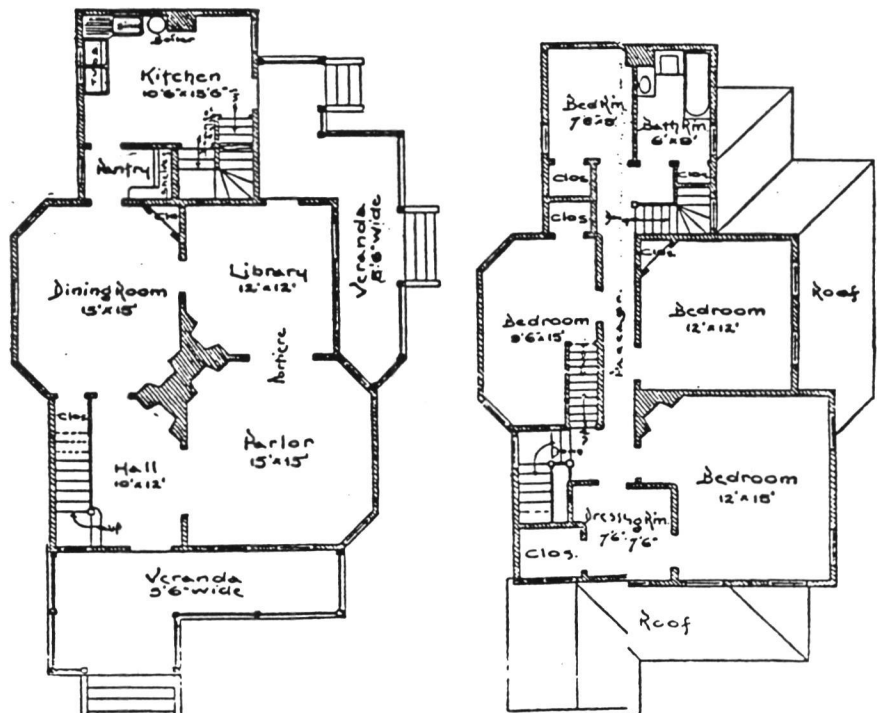
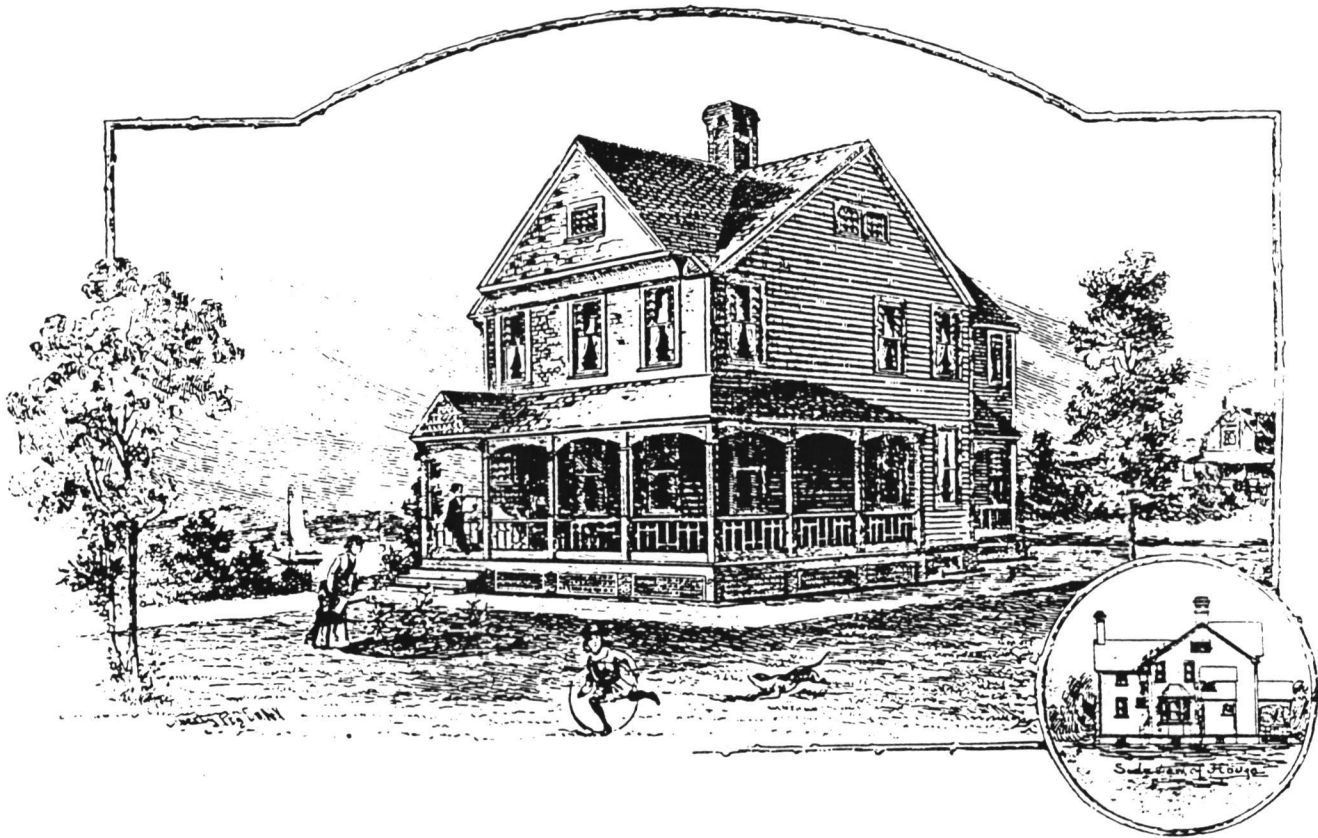


Figure 6. Modern Houses, Selected Designs



DESIGN No. 337. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 337

SIZE OF STRUCTURE: Front, 24 ft. Side, 45 ft., 6 in.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 6 ft., 6 in.; First Story, 10 ft.; Second Story, 9 ft.

MATERIALS: Foundation, stone and brick; First Story, clapboards; Second Story, clapboards (shingles on the front); Roof, shingles.

COST: \$2,800, complete, except mantels and kitchen range.

[See page 147 for information about details, specifications, bill of quantities and working plans of this design.]

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, June, 1886. In other localities and at different dates the cost will be somewhat modified. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

Details of the Cornices, Windows, Doors, Gables, Trim, Mantels, Stair-

case, Inside Finish, Colors, &c., &c. (these constitute the principal and distinguishing beauty of modern houses), are fully shown, on a large scale, in our Working Drawings, and careful directions for their execution are given in our Specifications.

This design can be reversed, enlarged, reduced, or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—Vestibule and large hall with the staircase recessed.

Sliding doors connect hall and parlor, parlor and bedroom, and bedroom and dining-room.

Fire-places in these four principal rooms.

Back stairway to second story.

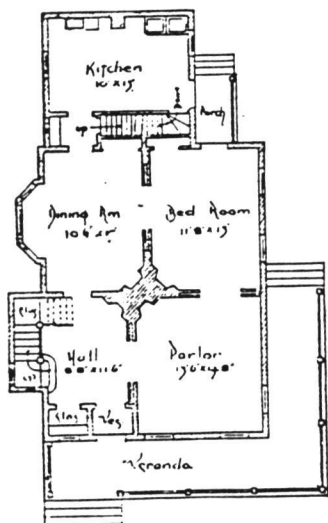
Stationary wash-tubs in the kitchen.

Four bed-rooms, bath-room and a billiard-room in the second story.

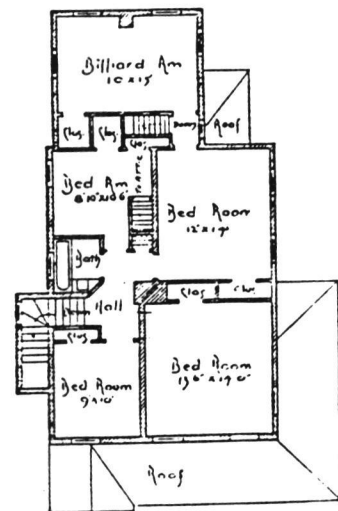
The attic is unfinished, but two or three rooms can be finished there if desired.

Cellar under whole house.

The veranda is 6 ft. wide.



FIRST FLOOR. NO. 337



SECOND FLOOR. NO. 337

Figure 7. Modern Houses, 1887

Figure 8



FRONT AND SIDE VIEWS OF P.G. #68-16 SHOPPELL DESIGN #444



umber for the decorative shingles on the upper stories. One of the interior features which McEwen borrowed from similar design #337, was the use of pocket doors between the three principal spaces on the first story.

A newspaper account of November 1887 described the house: "C.H. McEwen, during the past season, has completed one of the finest houses in the place..." 28

Shoppell estimated the cost (based on New York prices of materials and labor) of construction at \$3,363, and McEwen borrowed \$3,500 to finance the building of his house. He defaulted on the payment of his debt, and the house was sold in 1890. Although it changed hands several times, it was always described as one of Hyattsville's best dwellings: a "handsome two-story and attic frame dwelling with eight good rooms besides attic and cellar laid in concrete," ... "one of the best if not the best houses in Hyattsville."²⁹ It is a fine example of one of Shoppell's most popular designs.

Five years after Clarence McEwen built Design #444, a second Shoppell design was built in the section of Hyattsville which was next developed. After the success of their First Addition to Hyattsville, developers Louis Wine and George Johnson subdivided (in 1884) another tract immediately to the east of their First Addition; Wine and Johnson's Second Addition to Hyattsville included 143 more building lots which surrounded the old Ravenswood Mansion, the home at that time of developer Wine. In 1890 the developers sold three unimproved lots to Rachel Tise, who with her husband operated a retail grocery in Hyattsville. In 1892 the Tises constructed a large and handsome frame dwelling adapted from Design #299 which had first appeared in Shoppell's Modern Houses in 1887. (See Figure 9 and map, Appendix C:1.) The house was side-gabled, with asymmetrical projecting gables and a one-story veranda across the principal facade. It was distinguished by an unusual three-story gabled rectangular bay which projected at a 45° angle from the corner of the main facade. This projecting bay lent a strong impression of height and verticality, and gave extra space and light to the front parlor (library). The house was sided with horizontal board on the first story, shingles on the upper stories, and panelling in the gable ends; it had a complete basement, and three rooms in the attic. Modern Houses commented that "the exterior appearance is novel and striking." (PG #68-18, See Figure 10.)

The interior plan consisted of a central stairhall, flanked by a large parlor on one side and two smaller asymmetrical spaces (library and dining room) on the other. Fireplaces were positioned diagonally in the interior corners of those two spaces, served by a common wide brick chimney. A rear wing housed the kitchen and pantry, as well as a rear stair to a bedroom above. The price was estimated (on the basis of New York prices for materials and labor in 1886) at \$4,600, not including furnace and mantels.

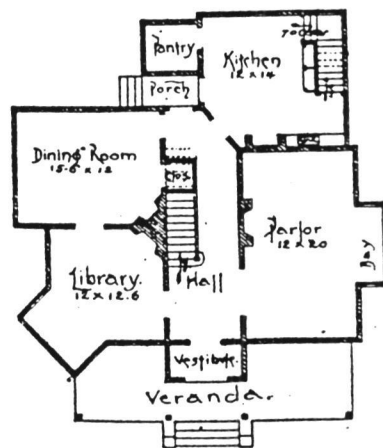
The Tises sold their house in 1905, and in 1931 it was acquired by the Rogers family who undertook several alterations. The Victorian veranda which had sheltered the main facade was removed and replaced by a



DESIGN No. 299. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 299

SIZE OF STRUCTURE: Front, 38 ft.; including bay-window, 41 ft.
Side, 44 ft., including veranda.
SIZE OF ROOMS: See floor plans.
HEIGHT OF STORIES: Cellar, 7 ft.; First Story, 10 ft.; Second Story, 9 ft.; Third Story, 7 ft., 6 in.



FIRST FLOOR. NO. 299

MATERIALS: Foundation, brick and stone; First Story, clapboards; Second Story, shingles; Gables, half timbered; Roof, shingles.

COST: \$4,600, complete, except furnace and mantels.
[See page 75 for information about details, specifications, bill of quantities and working plans of this design.]

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, March, 1886. In most other localities the cost is less

—in some places much less. A different date also modifies cost. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

Details of the Cornices, Windows, Doors, Gables, Trim, Mantels, Staircase, Inside Finish, Colors, &c., &c. (these constitute the principal and distinguishing beauty of modern houses), are fully shown, on a large scale, in our Working Drawings, and careful directions for their execution are given in our Specifications.

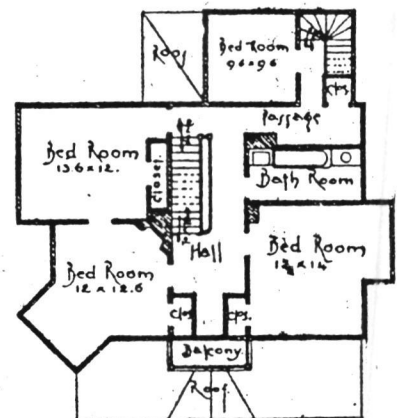
This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—Cellar under the whole house. Three rooms in the attic, and abundant store-room.

Reference to floor plans shows convenient and complete arrangement of rooms.

The exterior appearance is novel and striking. A large balcony out of front attic-room.

Heated by furnace or steam.



SECOND FLOOR. NO. 299

Figure 9. Modern Houses, 1887

Figure 10



CORNER AND FRONT VIEWS OF P.G. #68-18 SHOPPELL DESIGN #299



Classical Revival entry porch, and the main door was rebuilt with leaded fanlight and sidelights.³⁰ Although altered, the house is still a prominent and visible landmark, and an important reminder of the Shoppell houses built in the early days of the Hyattsville subdivisions.

In the same year that Clarence McEwen built his Shoppell-designed house in Hyattsville (1887), Edward Graves, a land speculator and developer from Washington, D.C., took steps to capitalize on the growing movement in suburban development; he purchased 383 acres of land about four miles northeast of Hyattsville, immediately east of the Baltimore and Ohio Railroad. Graves hired a firm to survey and plat a new residential community which he called Charlton Heights; he then turned the land over to the "Charlton Heights Improvement Company", which began to purchase house designs advertised in Shoppell's publications.³¹ By the end of the first year, approximately 20 dwellings had been constructed, more than half of them from Shoppell designs. The Company built only one each of the more ornate building types, and these no doubt served as models for new purchasers. Apparently, however, none of these designs was ever reproduced. During the 1890's, most of the houses erected were more modest in style, and there were several examples of each.

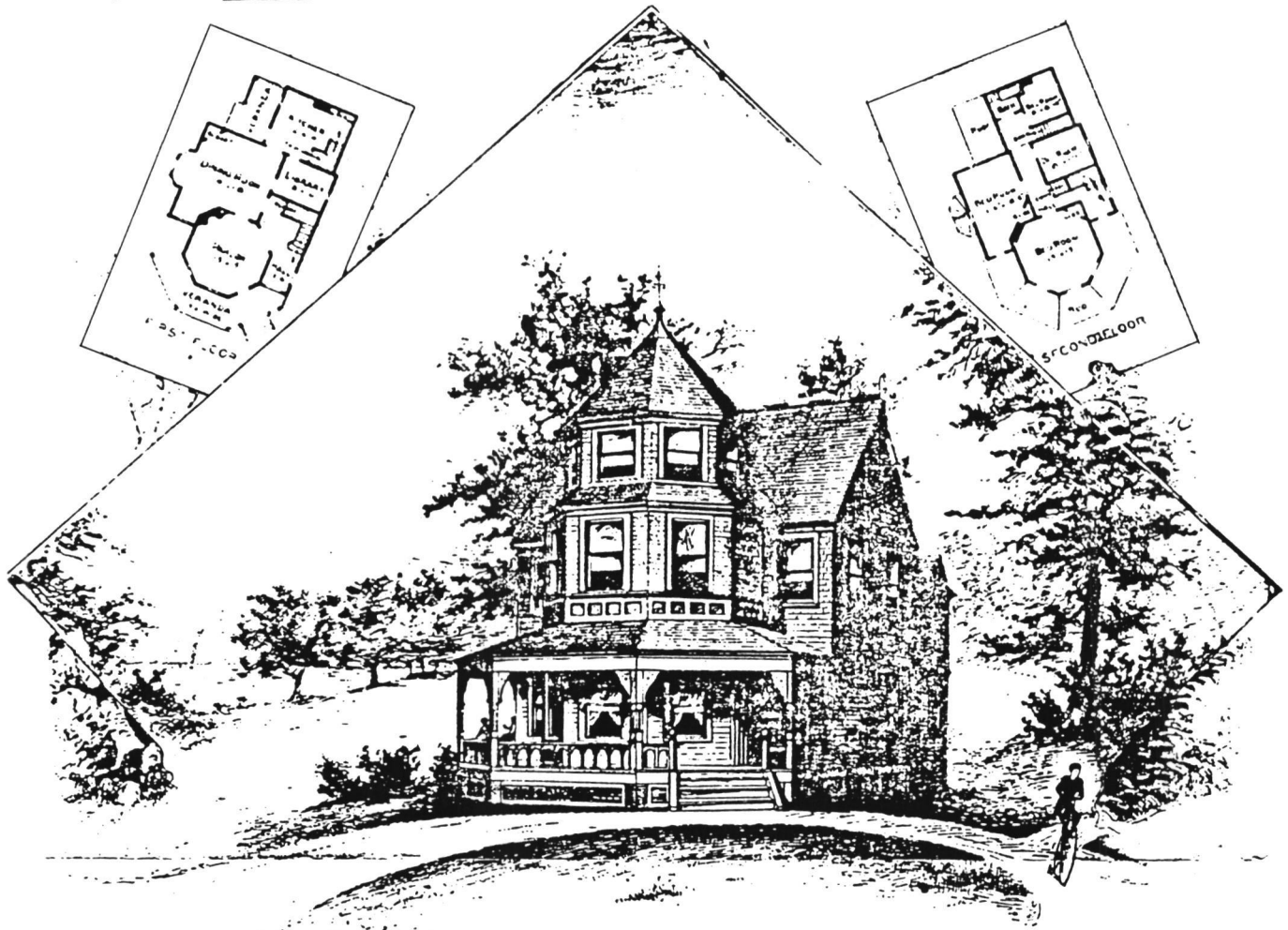
Four of the more substantial Shoppell designs were constructed in Charlton Heights in 1888 and 1889, and still stand in good condition, outstanding examples of this late nineteenth century housing phenomenon. Design #216 (See Figures 11 and 12) was built by the Charlton Heights Improvement Company in 1888, on two lots (#26 and #27 in Block #24) which fronted on Keleher Street, one of the principal streets in the 1888 plat. (See map, Appendix C:2.) Design #216, which first appeared in the 1888 issues of Modern Houses, was a side-gabled frame house which incorporated a three-story octagonal tower centered in its principal facade; interior spaces were arranged around the principal octagonal parlor. (PG #67-11, See Figure 13.)

Design #216 was distinguished by a variety of ornamental siding: plain horizontal board on the first story, scalloped shingles on the second, and fishscale shingles at third level and the gable ends. The apex of each gable end was embellished with ramiform paneling, and the eight-faceted roof of the octagonal tower was surmounted with an acorn-shaped metal finial. On the interior, the octagonal parlor had a fireplace and mantel in one of its interior walls, this wall and flue shared with the adjoining irregularly shaped dining room. The side stairhall featured a closed-string two-run staircase; door and window surrounds were multi-band moldings with bullseye cornerblocks. The main facade was highlighted by a one-story, three-sided veranda which followed the lines of the octagonal tower. To the rear was a kitchen wing with rear staircase to a bedroom above.

Recommended colors for Design #216 were "bronze green" for the board siding, shutters, and window trim, sienna for the ornamental shingles, and brown for other trim; roof shingles and brick foundations were to be painted "Indian red".³² (It is not known whether these colors were used

ARTISTIC MODERN HOUSES OF LOW COST.

By R. W. SHOPPELL, President of the Co-operative Building Plan Association, Architects, New York.



PERSPECTIVE VIEW OF DESIGN No. 216.
DESCRIPTION OF DESIGN NUMBER 216.

THIS house has fine, large rooms, a well lighted hall and stairway, good closet room, bath-room, back stairway, cellar, and a very attractive and comfortable veranda.

A veranda should be low and broad so that it will be shady, and thus answer the purpose for which it is designed. The posts should be spaced a good distance apart so that they will not obstruct the view.

In the attic story (plan not shown) there is one small bedroom and one fine large room; the latter is large enough for a small billiard table, and is a good place of banishment for the gentlemen who smoke. The odor of the weed is thus confined to the top of the house or escapes to the open air through the windows. When wife and daughters assure us that they "like the fragrance of a good cigar," it is well to credit them with this mental reservation: they do not like the dead odor to "hang around" for days, in curtains, carpets and upholstery. A secluded room like this is desirable for other purposes. It makes a fine study for student or minister; a good studio for an artist; a play-room for children; a sewing-room or a "growlery" where the man of the house can look over the bills and figure up expenses.

Below will be found dimensions, cost, etc.:

SIZE OF STRUCTURE: Front, 27 ft., 8 in.; Bay projects, 3 ft. Side, 43 ft., 2 in.; Veranda projects, 5 ft., 6 in.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 6 ft., 6 in.; First Story, 9 ft., 3 in.; Second Story, 8 ft., 9 in.; Third Story, 8 ft.

Figure 11. Artistic Modern

MATERIALS: Foundation, brick and stone; First Story, clapboards; Second Story, shingled; Gables, shingled; Roof, shingles.

COST: \$2,325 to \$3,075 (according to prices for materials and labor in different localities); all complete.

GUARANTEED ESTIMATES: For those who order Working Plans and Specifications for this design, or for any design published by the Co-operative Building Plan Association (without which none of their designs can be well built, nor can be kept within the estimates), the Association will make a special estimate based on local prices for material and labor. The Association guarantees that a contract can be placed at figures not exceeding the special estimate, otherwise, they will charge nothing for their services.

Correspondence solicited. Address the Co-operative Building Plan Association, Architects, 63 Broadway, N. Y.

MODIFICATIONS: The Association has the following modifications of the above design:

Design No. 216, reversed: precisely the same as above except that the plans are reversed.

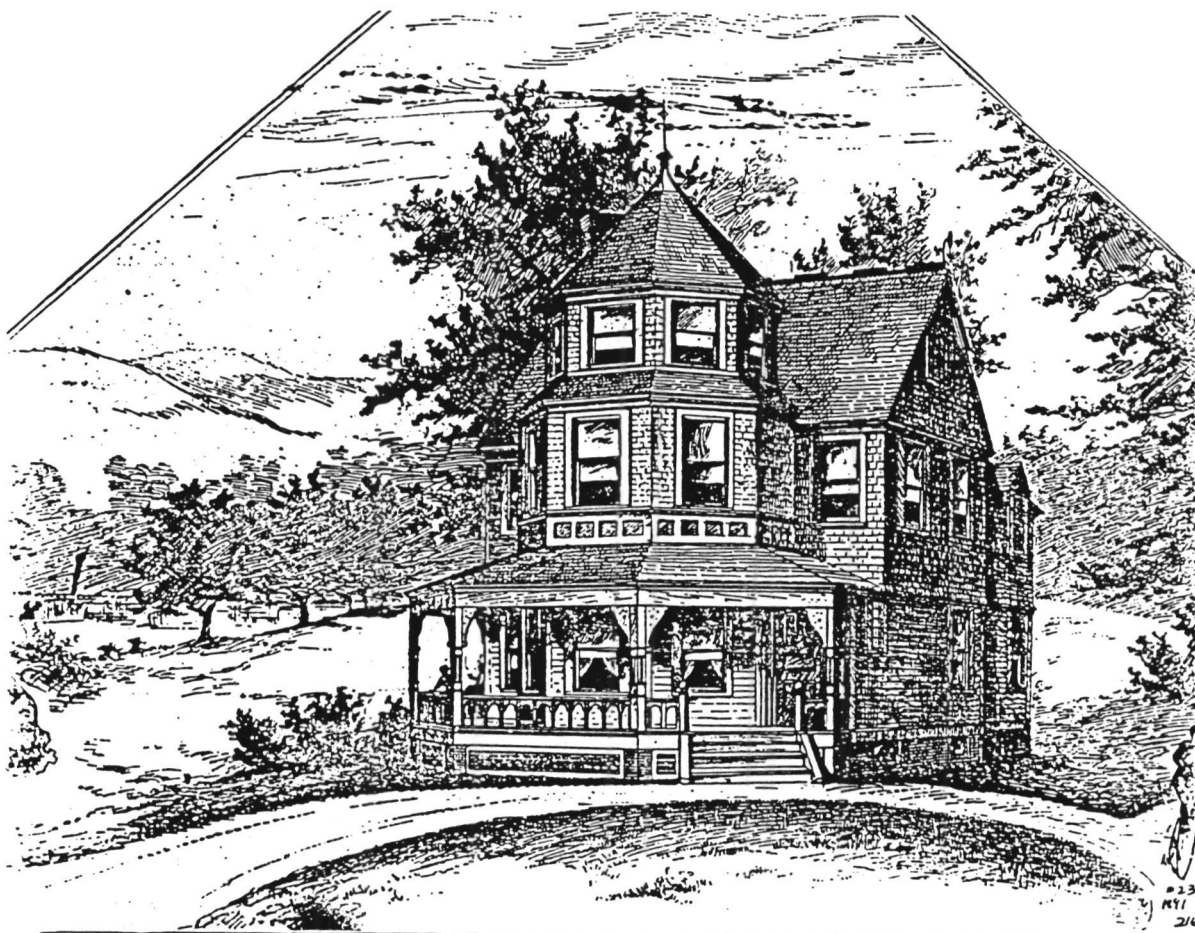
Design No. 344: same exterior as No. 216; tower a little higher. Plans a little deeper. First floor differently arranged, as shown by the plan given. Cost, \$3,000 to \$4,000.

Design No. 344, reversed: same as above.

Houses of Low Cost, 1888



FIRST AND SECOND FLOOR PLANS OF DESIGN NO. 344.



DESCRIPTION.

For explanation of all symbols (* † etc.) see page 40.

GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth including veranda, 48 ft. 8 in. Heights of stories, Cellar, 6 ft. 6 in.; first story, 9 ft. 3 in.; second story, 8 ft. 9 in.; attic, 8 ft.

EXTERIOR MATERIALS: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles; tower, panels and shingles. Outside blinds to all windows except those of the cellar.

INTERIOR FINISH: Hard white plaster; plaster cornices in hall, parlor and dining room. Soft wood floor and trim. Ash staircase. Panels under hall and dining room windows. Bath-room wainscoted. Interior wood-work finished in hard oil.

COLORS: Clapboards, blinds and sashes, bronze green. Trim, outside doors, veranda floor, and rain conductors, seal brown. Veranda ceiling, chrome yellow. Brick-work, Indian red. Wall shingles dipped and brush coated sienna stain. Roof shingles dipped and brush coated Indian red stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar under kitchen. Tower room finished in attic. This room makes a pleasant study or smoking room. Bay window in dining room. Back stairway, bath-room and servant's bedroom over kitchen. Fireplace and one hard wood mantle included in estimate.

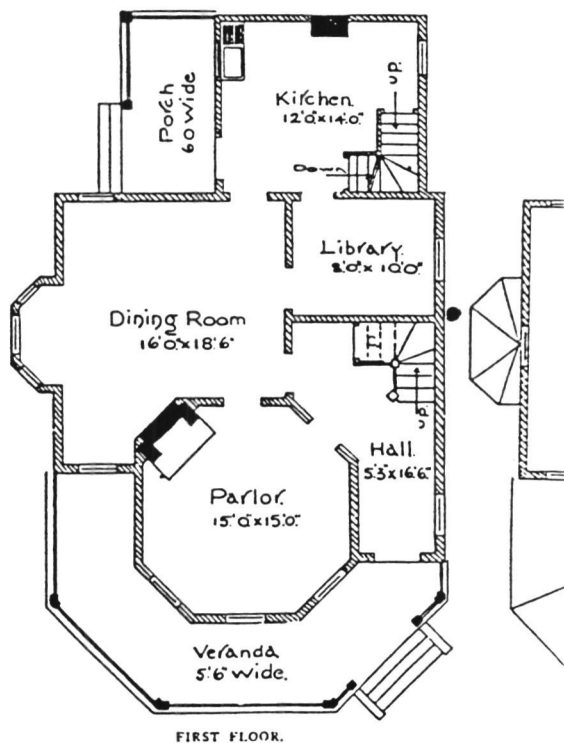
COST: \$2,804, † not including range and heater. The estimate is based on † New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and * license to build

Price for † † bill of materials. \$20.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 13 Broadway, New York.

Figure 12. Modern Houses, #23, 1891.



FIRST FLOOR.

FEASIBLE MODIFICATIONS: Halls and rooms and kinds of materials may be extended under whole house. A few fireplaces and mantels, may be omitted. One chimney will suffice.

Figure 13



FRONT AND SIDE VIEWS OF P.G. #67-11 SHOPPELL DESIGN #216

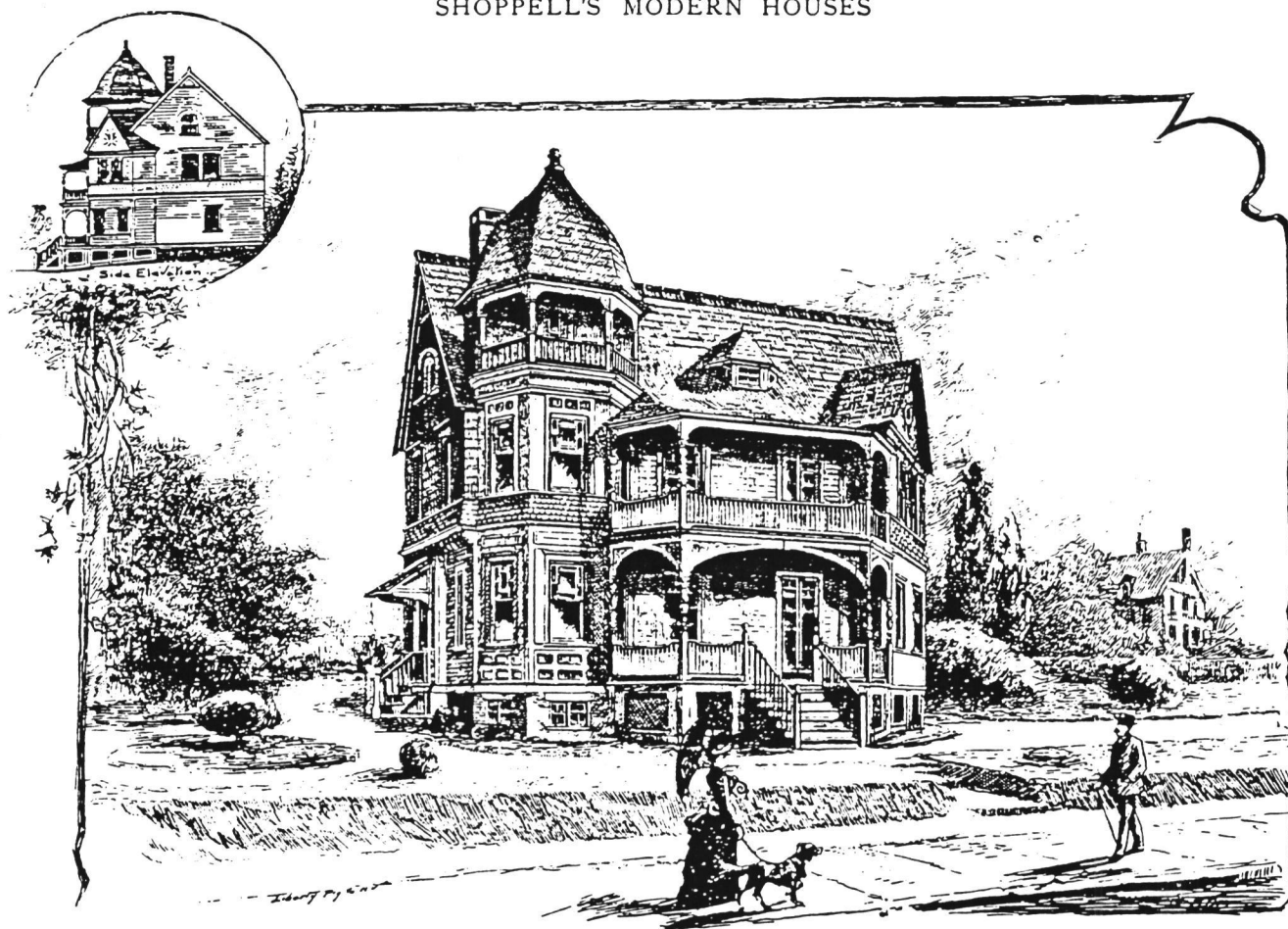


on the Charlton Heights model; it has been painted white for at least fifty years, and a paint analysis has not been undertaken.)

Design #216 was described in the Shoppell catalogs as having "fine, large rooms, a well-lighted hall and stairway, good closet room, bathroom, back stairway, cellar, and a very attractive and comfortable veranda." Shoppell's comments included the following: "In the attic story there is one small bedroom and one fine large room; the latter is large enough for a small billiard table, and is a good place of banishment for the gentlemen who smoke. The odor of the weed is thus confined to the top of the house or escapes to the open air through the windows..... A secluded room like this is desirable for other purposes. It makes a fine study for student or minister; a good studio for an artist; a playroom for children; a sewing room or a "growlery" where the man of the house can look over the bills and figure up expenses." The cost of construction was estimated, based on New York prices of labor and materials, as ranging between \$2,325 and \$3,075 depending on local prices.³³

This house (Shoppell Design #216) in Block #24 was used as a model for several years; in 1892 it was purchased by Edward Graves, the developer of Charlton Heights, together with eleven other dwellings which the Company had constructed. Graves himself lived in another fine Queen Anne style house (also very likely a Shoppell design, similar to Design #438, See Figure 14) a few blocks to the east. He leased the house in Block #24 to tenants until 1907. After he left the community, his residence became St. Anne's Infant Asylum, and the house in Block #24 was for many years used as a dormitory for young mothers who were cared for at St. Anne's. It was purchased in 1939 by the O'Dea family, and has remained their home to this day.³⁴ It is in close-to-original condition, and remains a fine example of one of Shoppell's most popular designs.

Shoppell Design #462 (PG #67-17) was also built by the Charlton Heights Improvement Company in 1888, on Lots #24-26 of Block 8, fronting also on Keleher Street, as were most of the more important models. (See map, Appendix C:2.) Design #462, which first appeared in the 1887 issues of Modern Houses, was a large, side-gabled frame house with a three-story octagonal corner tower; it had a projecting one-story octagonal porch, connected by an uncovered piazza to a pedimented veranda across the main facade. The tower and veranda added variety to the lines of the building, and all elevations were enlivened with windows of multiple panes. Above these windows, the apex of the gable end was decorated with geometric paneling. (See Figure 15.) Recommended colors were bronze green for the board siding on the first story, and red for the shingles of the upper stories. The shutters, window trim and roof shingles were to be painted a darker red. It is not determined whether these colors were used on the Charlton Heights model. The board siding is now covered with asbestos shingle, and the shingles of the upper stories have been painted white. A photograph, Figure 16, from early in this century indicates that the house had been painted white by that time. No paint analysis has been undertaken.)



DESIGN No. 438. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 438

SIZE OF STRUCTURE: Front, 38 ft. Side, including front veranda, 33 ft.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 6 ft., 8 in.; First Story, 9 ft.; Second Story, 8 ft., 8 in.

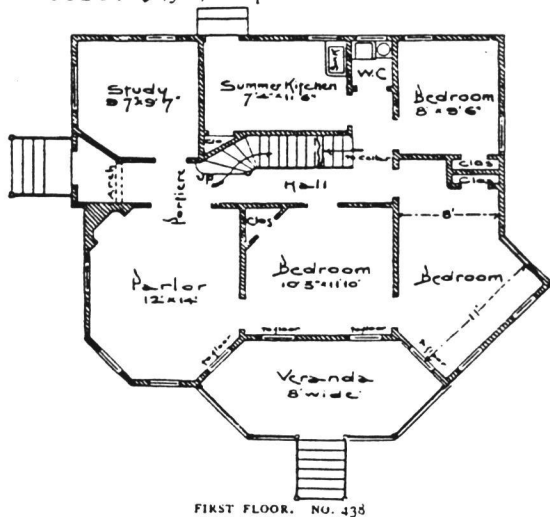
MATERIALS: Foundation, stone wall and brick piers; First Story, clapboards; Second Story, shingles; Gables, shingles; Roof, shingles.

COST: \$2,500, complete.

SPECIAL FEATURES.—Designed for erection in the Chautauqua Assembly Grounds, New York, near a hotel which is relied upon to supply meals. A small kitchen is provided as a resource in case of necessity.

Nine bedrooms on the first and second floors; three more can be finished in the attic.

Cellar under the parlor, enclosed with stone walls; remainder of the house is set on brick piers.

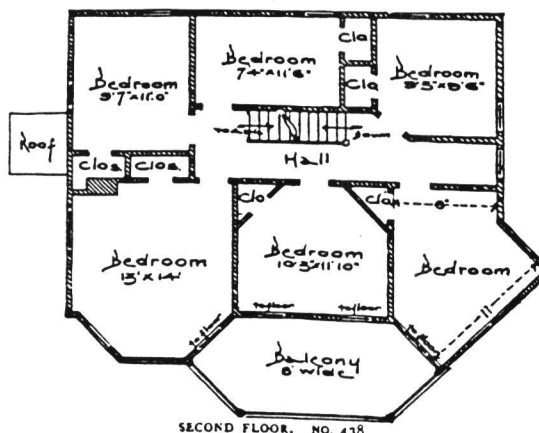


FIRST FLOOR. NO. 438

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, December, 1886. In other localities and at different dates the cost will be somewhat modified. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.



SECOND FLOOR. NO. 438

Figure 14. Modern Houses, 1887



DESIGN No. 462. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 462

SIZE OF STRUCTURE: Front, including kitchen and parlor bay, 41 ft. Side, not including verandas, 31 ft., 6 in.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 6 ft., 6 in.; First Story, 9 ft., 6 in.; Second Story, 8 ft., 6 in.

MATERIALS: Foundation, stone walls; First Story, clapboards; Second Story, shingles; Gables, shingles; Roof of house, slate; of verandas, shingles.

COST: \$4,600, complete, except mantels, range and heater.

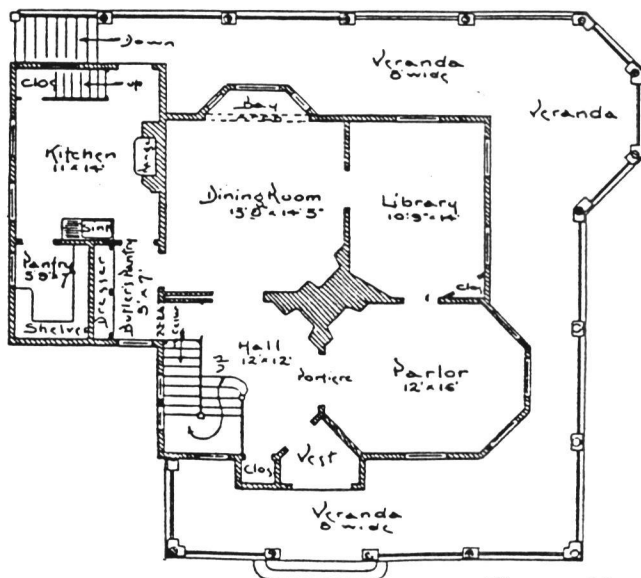
SPECIAL FEATURES.—A compact arrangement of rooms. All the rooms of the first floor communicate, Direct access to the front hall from the kitchen without passing through a living room.

Heater pipes and registers are provided in all the rooms.

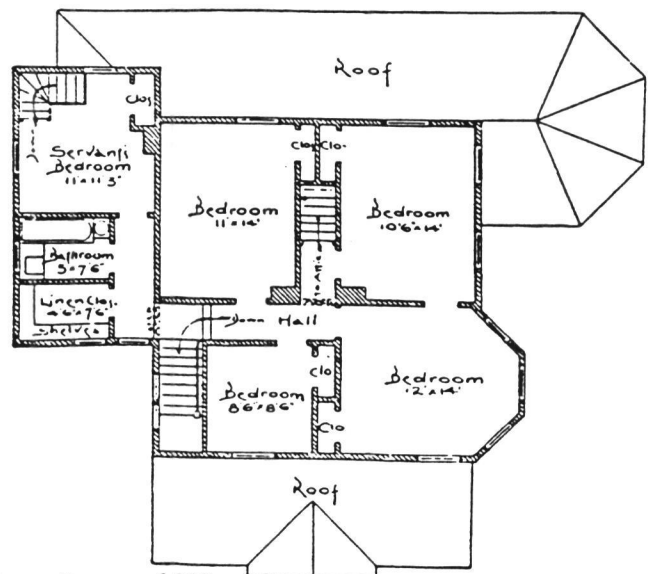
The attic is plastered and finished in one large play-room for children; three or four bedrooms can be made instead, if preferred.

Cellar under the whole house. Laundry under library.

This design is represented in colors by the frontispiece to this book.



FIRST FLOOR. NO. 462



SECOND FLOOR. NO. 462

Figure 15. Modern Houses, 1888.

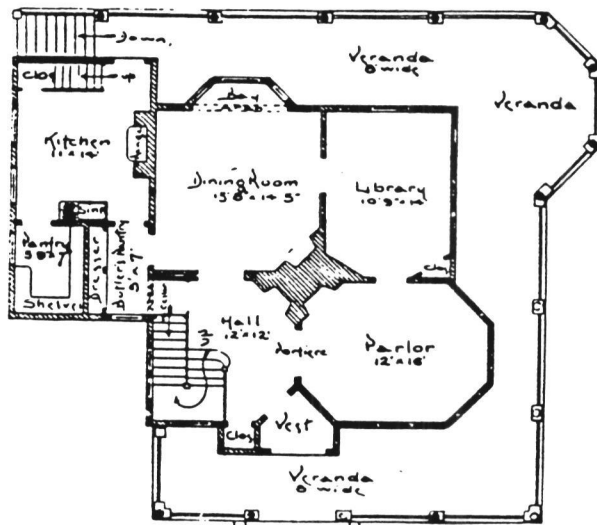
Figure 16



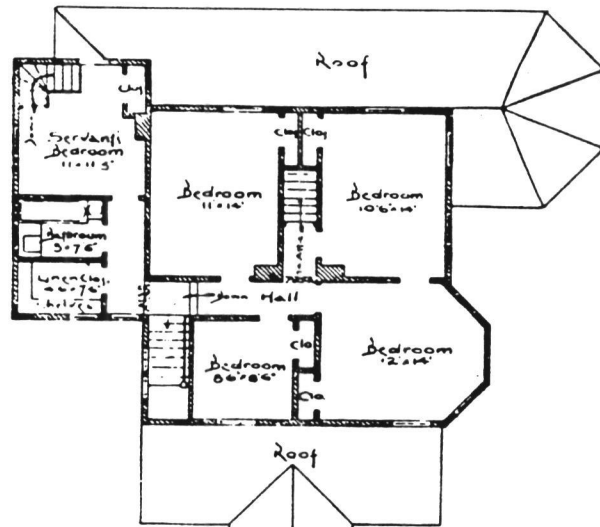
CIRCA 1900 PHOTOGRAPH OF P.G. #67-17 SHOPPELL DESIGN #462



PERSPECTIVE.



FIRST FLOOR.



SECOND FLOOR.

DESCRIPTION.

GENERAL DIMENSIONS: Width over all, 50 ft.; depth, including verandas, 43 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundations, stone; first story, clapboards; second story, gables, and veranda roofs, shingles; main roof, slate. Outside blinds to all windows except those of the staircase, attic and cellar.

INTERIOR FINISH: Sand finish plaster. Cellar ceiling plastered with heavy coat. Ash floor in first story with an under-flooring of it wood; hard pine floor in attic; soft wood floors elsewhere. Soft wood trim. Ash staircase. Panels under windows in parlor, dining room and library. Kitchen and bath-room wainscoted. Interior wood-work finished in hard oil.

COLORS: Clapboards, bronze green. Trim, blinds, sashes and window conductors, dark red. Outside doors, dark red with bronze panels. Veranda floor, dark olive drab. Veranda ceiling, brick-work, Indian red. Wall shingles, dipped and brushed red; roof shingles a darker red.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar under whole house. Laundry under kitchen. Attic plastered and finished as a large playroom; space for three or four bedrooms instead, if preferred. Heater pipes and registers in all rooms. All sides of the house equally presentable. Open fireplaces and mantels in hall, parlor and dining room, and set range in kitchen, included in estimate.

COST: \$5,081, † not including heater. The estimate is based on † New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and * license to build, \$55.00

Price for † bill of materials, 10.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 63 Broadway, New York.

FEASIBLE MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Laundry tubs may be placed in kitchen. Foundation may be planned for a level grade.

Figure 17. Modern Houses #29, 1891.

Figure 18



SIDE AND FRONT VIEWS OF P.G. #67-17 SHOPPELL DESIGN #462



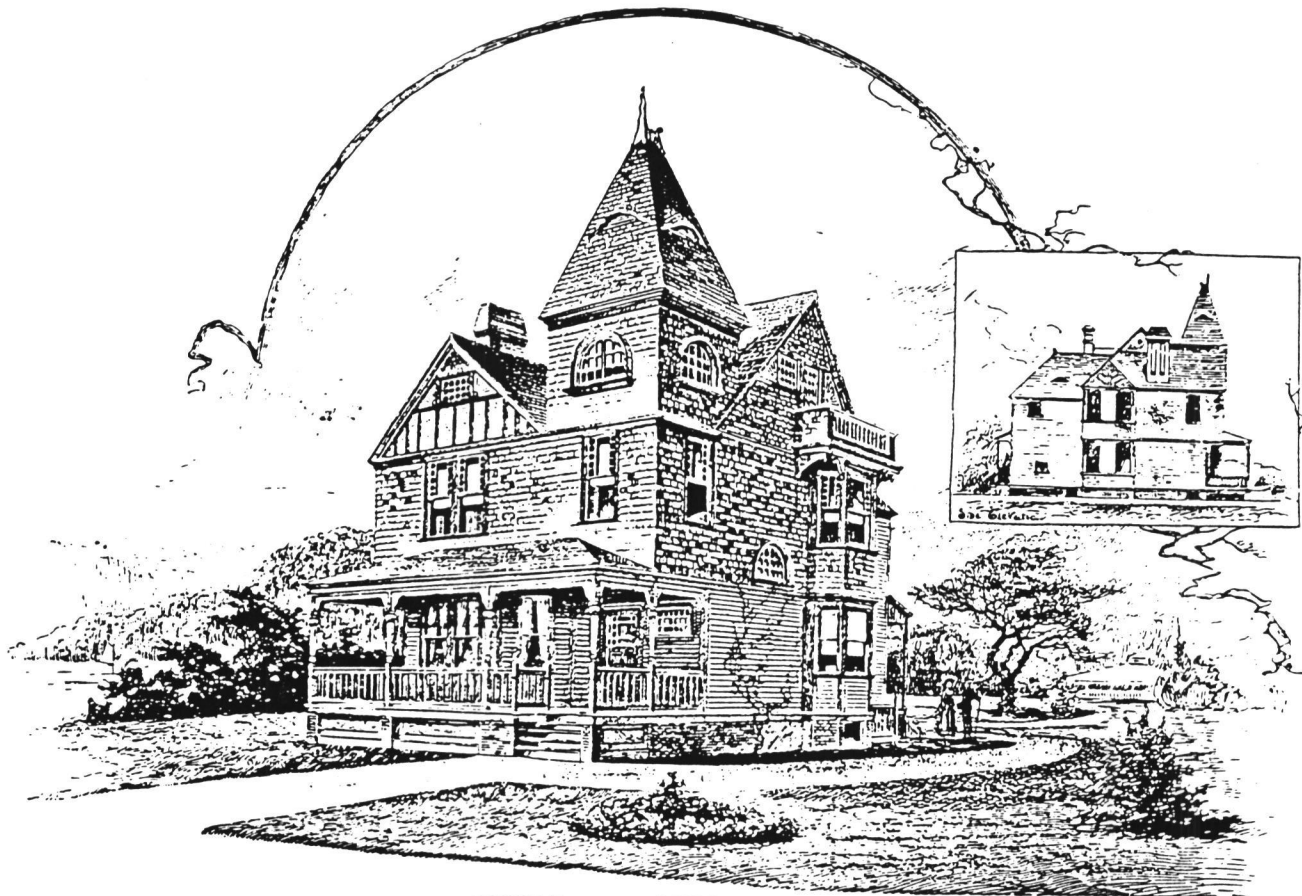
The interior of Design #462 consisted of four principal spaces (hall, dining room, library and parlor) arranged around a central chimney, each first story room warmed by a fireplace set diagonally in the interior corner. One of the four spaces was the entry stairhall, a large rectangular space with a mantel in its interior corner, a vestibule leading to the outside door, a small coat closet, and a two-run stair set into the exterior corner. The handsome closed-string stair was panelled in old English style, and lighted on two sides with stained glass windows, as was also the closet. The entry/stairhall in Design #462 conformed well to that recommended in Shoppell's publications, cf. Figure 4: "It should be square rather than long and narrow... should have a fireplace ...should have a beautiful staircase ...at least one platform to afford a rest ...winding steps should never be built where they can be avoided ...It should display some stained glass ..should have a hat and coat closet ...should be protected from cold and draughts by a vestibule...." A retracting sliding door separated the stairhall from the dining room. To the side and inset from the main block was a two-story kitchen wing, with adjoining pantry and a rear stair to a servant's bedroom and bath.

Design #462 was one of the larger and more elegant plans offered by Shoppell. The published description offered a full basement, laundry under the kitchen wing, an open attic which could be divided into three or four bedrooms, and a slate roof. The cost of construction was estimated in 1887 (based on New York prices for materials and labor) at \$4,600, not including mantels or heater. When it was described in somewhat greater detail in Modern Houses, Volume #23, 1891, the estimate was \$5,081 and included mantels but not the heater. (See Figure 17.)

The finished house and ten lots were purchased from the Charlton Heights Improvement Company by Mrs. Ernestine Studley in October 1888; she borrowed \$3,000 to make the purchase, and the mortgage was held by George N. Walker. Mrs. Studley defaulted on her mortgage payments, the mortgage was foreclosed, and the property was sold in December 1893 for the high bid of \$3,550. At that time, the property was described as "improved by a handsome dwelling house built several years ago."³⁵ This elegant Shoppell dwelling was purchased by the Kleiner family in 1895, and remained their home until the 1930's. It has undergone several alterations in this century: the early enclosure of the octagonal projecting porch, and later addition of kitchen bay and carport. It is still, however, easily recognizable from its original published design. (See Figure 18.) It is a fine example of a Queen Anne style pattern book house with outstanding interior detail, and is an important visual landmark in Berwyn Heights today.

The third Shoppell design (PG #67-12) was built in Charlton Heights in 1889; it was constructed from Design #449, which first appeared in the 1887 issues of Modern Houses. (See Figure 19.) This was a two-and-one-half-story frame cross-gable dwelling, with a three-story rectangular corner tower, and novelty paneling in the gables.

Like the other prominent Shoppell designs used in Charlton Heights, Design #449 had a variety of ornamental surface coverings: plain horizontal board on the first story, rectangular shingles on the second story



DESIGN No. 449. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 449

SIZE OF STRUCTURE: Front, 25 ft. Side, 34 ft., including front and rear porches.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 7 ft.; First Story, 9 ft., 6 in.; Second Story, 8 ft., 6 in.

MATERIALS: Foundation, stone and brick; First Story, clapboards; Second Story, shingles; Roof, shingles.

COST: \$3,000, complete, except mantels, range and heater.

Details of the Cornices, Windows, Doors, Gables, Trim, Mantels, Staircase, Inside Finish, Colors, &c., &c. (these constitute the principal and distinguishing beauty of modern houses), are fully shown, on a large scale, in our Working Drawings, and careful directions for their execution are given in our Specifications.

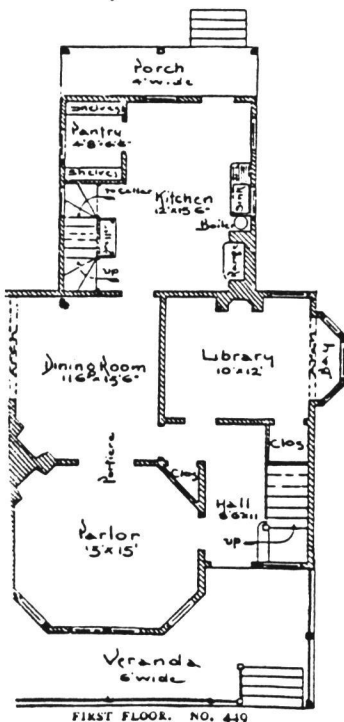
This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—Open fire-places in the parlor, the library and the dining-room.

The arrangement of rooms is compact and convenient. Large closets throughout.

Two bedrooms are finished in the attic.

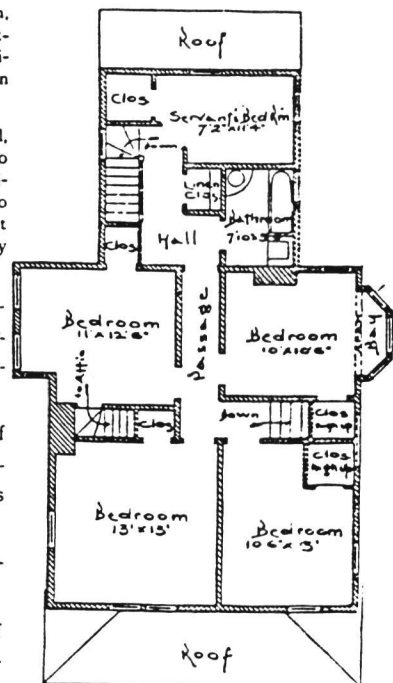
Cellar under the whole of the main house. Not excavated under the kitchen.



FIRST FLOOR. NO. 449

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, December, 1886. In other localities and at different dates the cost will be somewhat modified. The publishers will be glad to acquaint the intending builder with this modified cost at any time.



SECOND FLOOR. NO. 449

Figure 19. Modern Houses, 1887.

Figure 20



P.G. #67-12 SHOPPELL DESIGN #449

Figure 20A



SIDE VIEW AND DETAIL OF P.G. #67-12 SHOPPELL DESIGN #449



and tower, and lively geometric and ramiform paneling in the gables. A one-story wraparound veranda with bracketed posts sheltered the front and side of the house. The third story of the rectangular tower was lighted by a two-part round-arch window on two sides, and a similar round-arch window lighted the side staircase between the first and second story. The tower was surmounted by a steep four-plane pyramidal roof, topped by a tall metal finial. One of the side rooms (the library) and the bedroom above it were lighted by a projecting bay, and the gable above this bay was enlivened with saw-tooth shingle siding, and small windows flanked by ray-pattern paneling.

The asymmetrical floor plan included a side staircase in the corner tower, and three other large spaces. Fireplaces in the front parlor and adjoining dining room were set diagonally side by side in the exterior wall, both served by a tall wide panelled brick chimney. Extending to the rear, giving the building a T shape, was a two-story kitchen wing, with rear stairs to a servant's bedroom above. There was a cellar (with concrete floor) under the main block.

The cost of construction was estimated (on the basis of New York prices for materials and labor) at \$3,000, not including mantels and heater. In 1892, when Design #449 was advertised again, the cost of construction was estimated at \$3,600, by then including wood mantels in parlor, dining room and library. It was described as having two finished rooms in the attic, plaster cornices and medallions in parlor, dining room, library and hall, and wood mantels in these first three rooms. Recommended colors were dark olive drab on the board siding of the first story, sienna stain on the shingles which sided the upper stories, bronze green for exterior doors, reddish stain for the roof shingles, dark red for window trim, and light olive green for other trim.³⁶

Design #449 was built in Charlton Heights in 1889 by Elizabeth Stoner, who in October 1888 had purchased unimproved lots #1 and 2 in Block 8. These two lots were located on the corner of two of the principal streets in this developing suburb, and Mrs. Stoner built the house to face on Keleher Street, as did designs #216 and #462, already built. (See Appendix C:2.) Written into Mrs. Stoner's deed was the requirement that "when a building is erected ...it shall not be within 40 feet of the building line as shown on the plat of Charlton Heights."³⁷

The cost of constructing Design #449 was estimated in 1887 at \$3,000; Mrs. Stoner borrowed \$2,500 to finance the construction, purchased the two adjoining lots, and paid off the debt shortly after the turn of the century. All of this was apparently done as an investment; during the years of her ownership, the house was leased to tenants, and there is no evidence that Mrs. Stoner herself ever lived in Charlton Heights. For the next quarter century, it was the home of a journalist, Charles Donaldson, who sold the property in 1928 to the Chlopicki family; it remains the Chlopicki home to the present day.³⁸ (See Figure 20.) It is today painted yellow with white trim; it is not known whether the original color recommendations were followed. The house stands today on a shaded corner lot, an important and visible landmark in the present day community, a

fine example of high style Queen Anne pattern book house with outstanding surface detail.

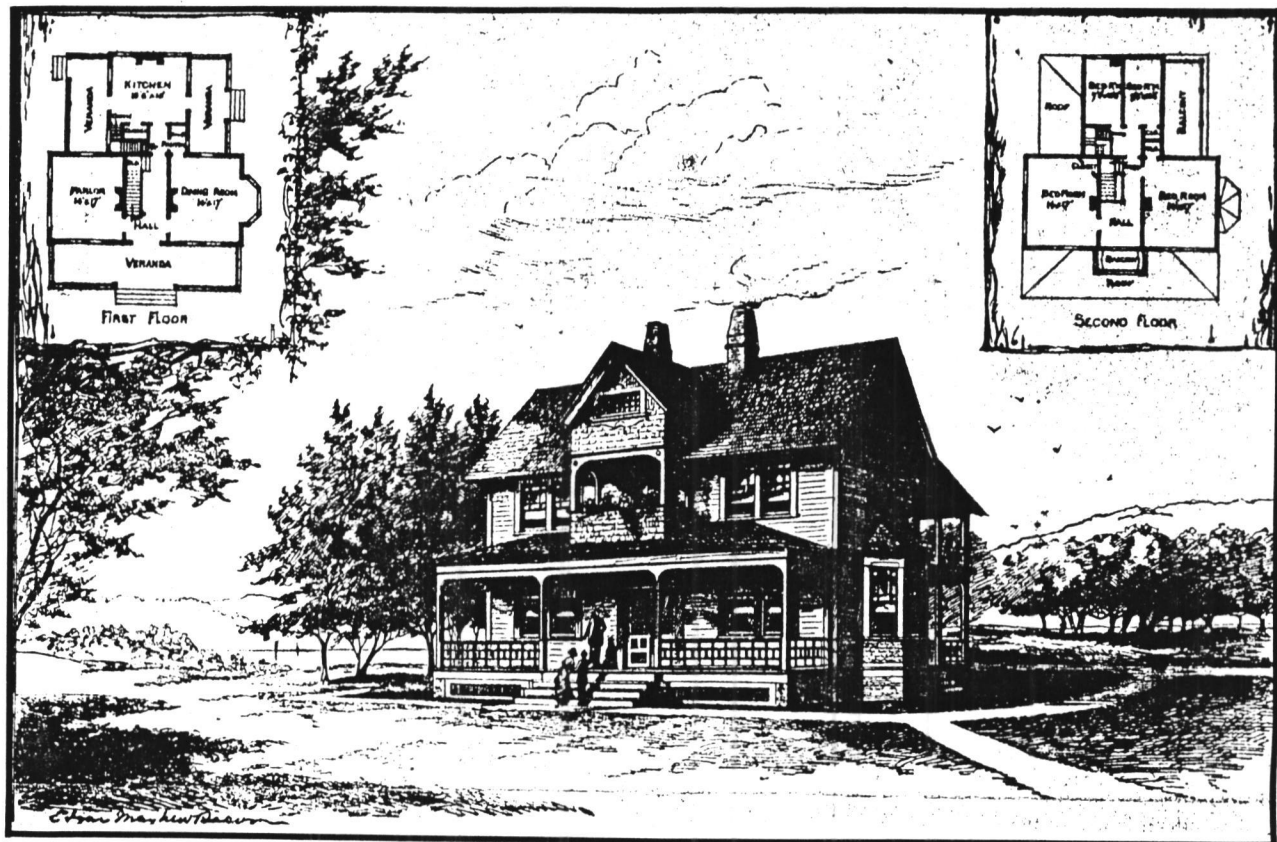
A fourth example of Shoppell's designs was constructed by the Charlton Heights Improvement Company at the end of 1889, fronting on the same street as the three others just cited. (See Appendix C:2.) It was built from Design #204, first published in Modern Houses, 1887. (See Figure 21.) This fourth dwelling (PG #67-14) differed from the three earlier house designs in that it was a more modest dwelling with only minimal Queen Anne style decoration. It followed the plan of the traditional I-house, with central stairhall flanked by a parlor on each side. Kitchen and pantry were incorporated into a rear wing which formed a T; a rear stair led to two small bedrooms over the kitchen. This relatively plain dwelling was distinguished by a central projecting crossgable on the main facade, which formed a balcony at second level. A one-story facade-wide veranda sheltered the main facade, and also the two sides of the rear wing. The siding was of plain horizontal board, except for the gables which were covered with novelty shingles. The design was advertised as "A good Southern house. Hall through the centre, well ventilated and with plenty of verandas and covered balconies. Open fireplaces, wood mantels and a cellar under the kitchen. One of the side verandas enclosed makes a good conservatory."³⁹

The house built in Charlton Heights from Design #204 was sold by the Company in October 1890; it was occupied by tenants for the next 15 years, and passed through a series of short-term owner/landlords. It was sold in 1905 to John McNitt, a telegraph operator for the U.S. Post Office, who made it his family home for twenty years. McNitt enclosed part of the veranda and built a two-story side addition. Further additions have altered the side and rear of the house, but it is still a conspicuous landmark (See Figure 22) and an important reminder of the early Shoppell dwellings constructed in the suburb of Charlton Heights.⁴⁰

Two more fine Queen Anne style frame dwellings were erected by the Charlton Heights Improvement Company in 1888, probably from Shoppell patterns; although they resemble the Shoppell houses in plan and designs, the specific patterns have not been identified. One of these houses (PG #67-19, See Figure 23) is crossgabled and roughly cruciform in plan, and distinguished by a projecting semi-octagonal bay and second-story balcony highly decorated with incised vergeboards and lacework spindle frieze. The other house (PG #67-18, See Figure 24) is hipped and roughly square, with crossgables and projecting bays, and is highlighted by panelled chimneys, eyebrow and double sash windows with border lights, and considerable variety in surface coverings.⁴¹ Four more houses erected in Charlton Heights during the same time period may prove to have been constructed from Shoppell designs.⁴²

By the end of 1889, approximately 20 houses had been built in Charlton Heights, and the new town became the home principally of professionals who used the Baltimore and Ohio Railroad to commute into Washington, D.C. For the next several years, the Charlton Heights Improvement Company continued to sell lots, and to erect houses of a more modest

SHOPPELL'S MODERN HOUSES



DESIGN No. 204. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 204

SIZE OF STRUCTURE: Front, 38 ft. Side, 46 ft., inclusive of veranda.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: Cellar, 6 ft., 6 in.; First Story, 10 ft.; Second Story, 9 ft.; Third Story, open attic.

MATERIALS: Foundation, stone; First Story, clapboards; Second Story, clapboards; Gables, shingles; Roof, shingles.

COST: \$3,000, complete.

[See the first pages of this book for information about details, specifications, bill of quantities and working plans of this design.]

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, October, 1885. In most other localities the cost is less—in some places much less. A different date also modifies cost. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

Details of the Cornices, Windows, Doors, Gables, Trim, Mantels, Staircase, Inside Finish, Colors, &c., &c. (these constitute the principal and distinguishing beauty of modern houses), are fully shown on a large scale, on our Working Drawings, and careful directions for their execution are given in our Specifications.

This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—A good Southern house. Hall through the centre, well ventilated and with plenty of verandas and covered balconies. Open fireplaces, wood mantels and a cellar under the kitchen.

One of the side verandas enclosed makes a good conservatory.

To reduce cost use posts set in concrete, or brick piers for foundations. It is a great mistake to suppose that posts do not make good, firm and enduring foundations. They have stood the test of supporting some of the largest factories, filled with heavy machinery, for years. The only danger is in rotting at the ground surface. Wood that is wholly and continuously under ground or under water never rots. It is not the wetting but the drying that causes the decay. Setting the posts in concrete, as we specify, thoroughly protects them from any possibility of dampness or wetting and, therefore, makes them perfectly safe. The concrete hardens and becomes like stone, so that the building actually rests on stone piers.

In the South the kitchen is usually placed in a detached building, but there is no good reason why it may not be connected with the main house, if it is well separated by pantries, closets, store-rooms, and a passage of some length.

The artistic use of colors in the decoration of buildings has become a subject of great interest. Cultivated people will endure no longer the "white house and green shutter style" for exteriors, and "graining" for interiors. It costs no more, or but little more, to decorate the house according to correct principles, and make it really pleasing and delightful to the eye. By the right use of colors architectural defects are made less striking; low buildings are given the appearance of height; narrow buildings are given breadth and small buildings are made to appear larger. The commonest houses are often made beautiful by the proper study and application of paints and stains.

Figure 21. Modern Houses, 1887.

Figure 22



FRONT VIEW OF P.G. #67-14 SHOPPELL DESIGN #204

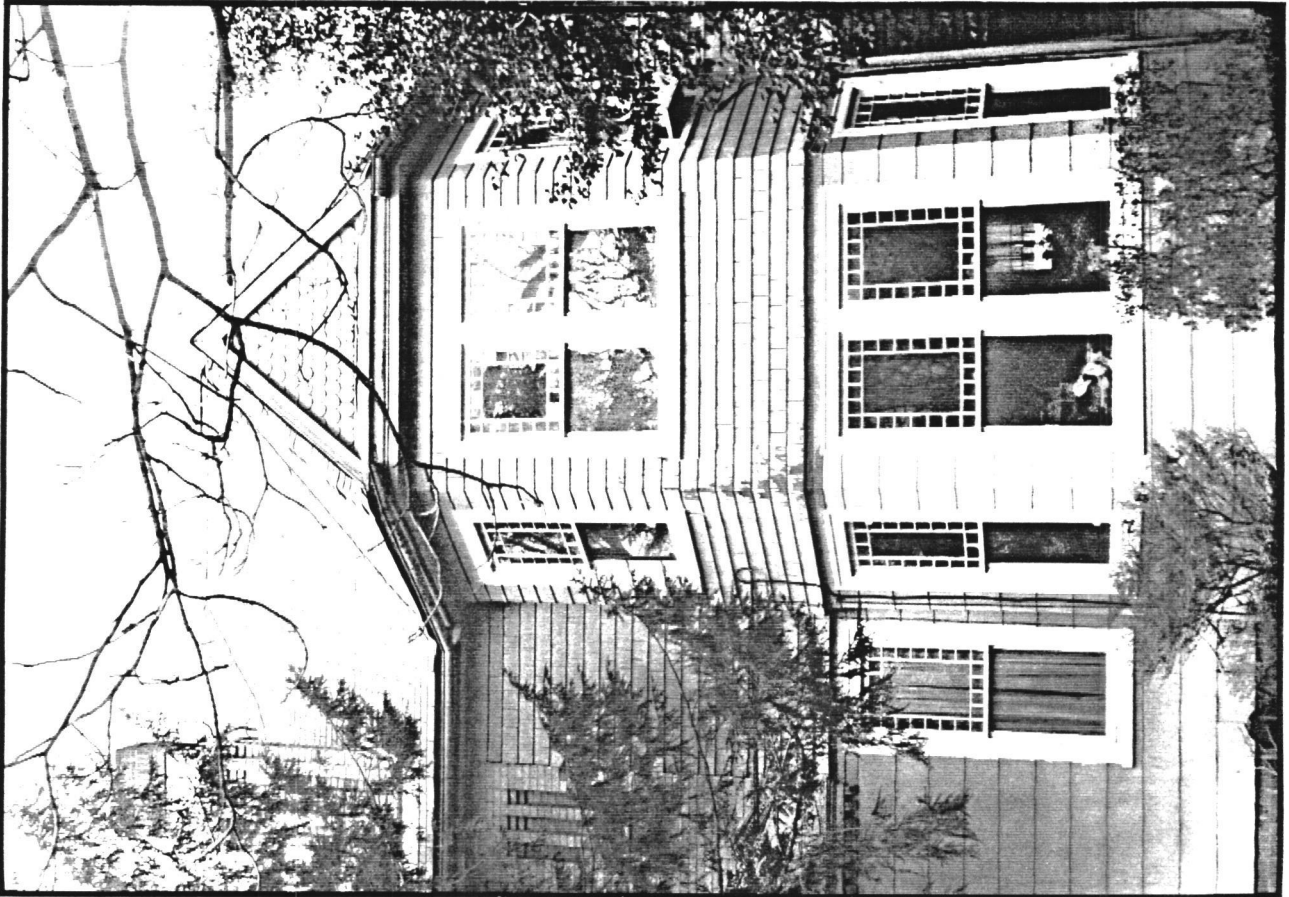
Figure 23



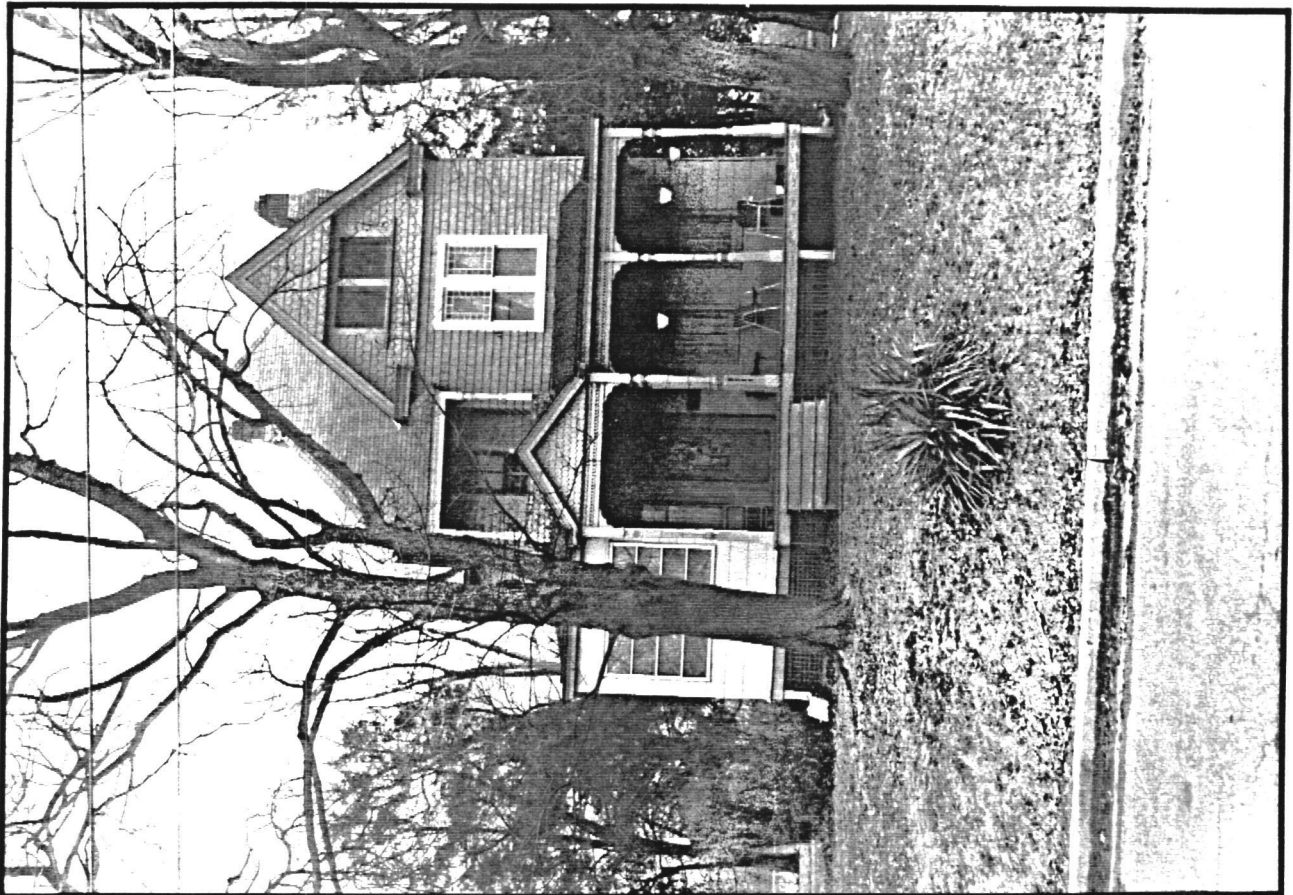
SIDE VIEW AND DETAIL OF P.G. #67-19



Figure 24



FRONT VIEW AND DETAIL OF P.G. #67-18



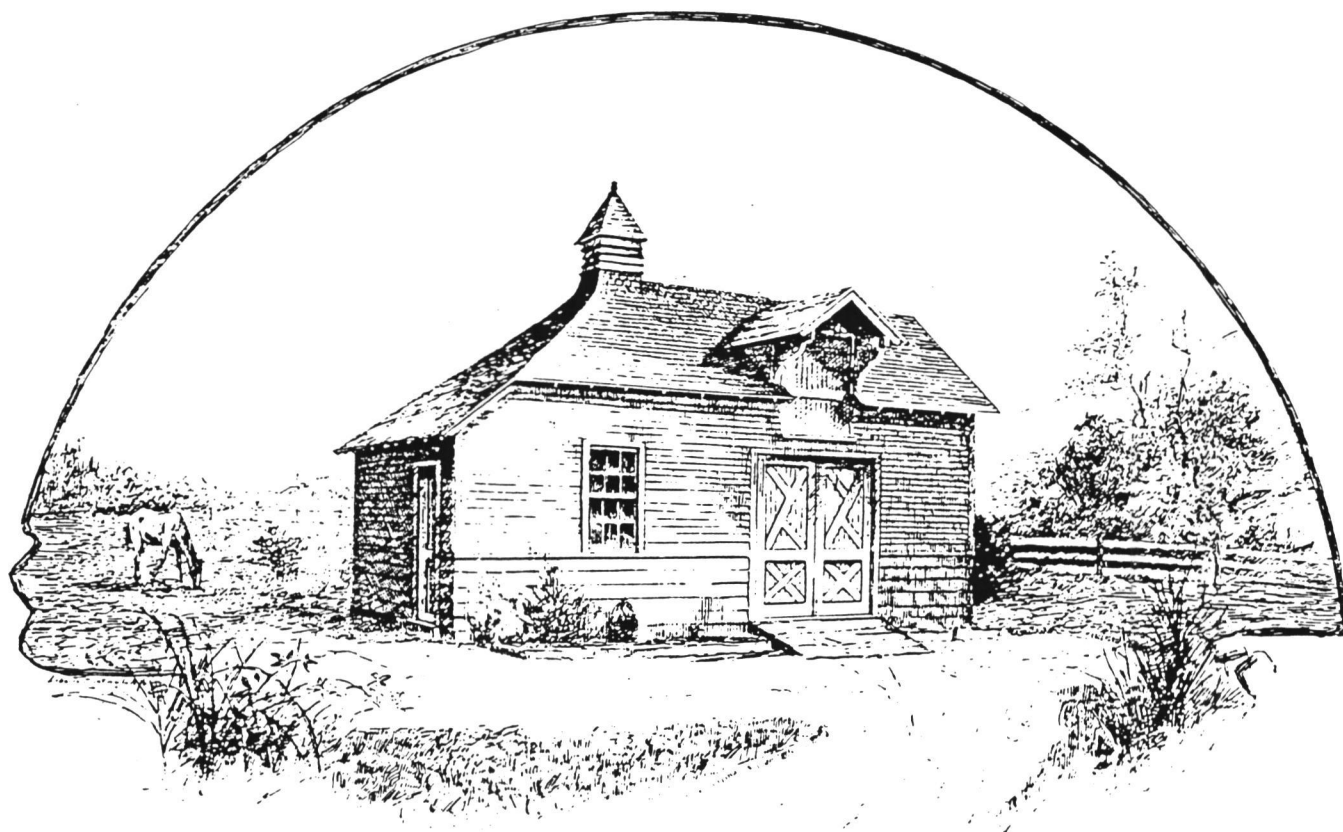
style than the earlier Shoppell-designed models. In 1892, developer Edward Graves, and James Waugh, secretary of the company, bought the remaining unsold lots, including twelve already-constructed dwellings.⁴³ Graves and Waugh continued to sell lots, both improved and unimproved, and the Charlton Heights Improvement Company ceased operations. In 1896, by an Act of the Maryland General Assembly, the town was incorporated, and its name was changed to Berwyn Heights. It continued to grow slowly; by 1910, the population was slightly over 150, and there were 38 dwellings.⁴⁴

Today most of the lots have been filled in with 1950's subdivision housing, and Berwyn Heights is a quiet residential community with curving streets and old trees, set back and somewhat secluded, between two major highways. The nucleus of the 1888 community is highlighted by outstanding examples of late Victorian frame dwellings many of which were built from Shoppell designs. Although surrounded by modest mid-twentieth century subdivision housing stock, these late nineteenth century dwellings stand out as prominent landmarks, and important reminders of the part played by Victorian mail-order house plans in the development of Washington's suburbs.⁴⁵

Later Years of the Cooperative Building Plan Association

In 1892, Shoppell published (in Volume #38 of Modern Houses) the fifty most popular designs produced and sold by the Cooperative Building Plan Association. Entitled "Fifty Favorites. A Collection that cannot be Duplicated", they included designs for residences ranging from a small (20 x 25 foot) two-bedroom cottage to a huge (75 by 80 foot) mansion with full basement and attic, corner towers, billiard room and porte-cochere, and ranged in estimated cost of construction from \$550 to \$16,500. The "Fifty Favorites" included also designs for four stables, ranging in price from \$450 to \$2,770. These fifty designs, which included three models built in Hyattsville and Charlton Heights in 1887 and 1888,⁴⁶ were described as the most popular of the designs used in building the 9,000 houses by then constructed from Shoppell designs. Some of these designs had been built as many as 300 times. Because of the frequent use of these particular designs, Shoppell could say without hesitation that his estimated costs of construction had been proved beyond doubt; he could therefore guarantee the estimated construction costs, and offer money back for the plans if contractor bids exceeded his estimated figures. (See Appendix D, "Fifty Favorites.")

Once the Cooperative Building Plan Association had established itself as a source of high quality and economical designs for dwellings, it began to publish plans of other types of buildings, e.g., libraries, banks, railway stations, stables and carriage houses, churches, shops, exhibition buildings, schoolhouses, grandstands and even hotels, factories and mills. (See Figures #25 through #28.) By far the majority of the building plans, throughout the existence of the Association, however, were for private dwellings.



STABLE AND CARRIAGE-HOUSE DESIGN No. 473. PERSPECTIVE VIEW

DESCRIPTION OF DESIGN NUMBER 473

SIZE OF STRUCTURE: Front, 30 ft. Side, 16 ft.

SIZE OF ROOMS: See floor plans.

HEIGHT OF STORIES: First Story, 8 ft., 8 in.

MATERIALS: Foundation, stone; First Story, clapboards; Roof, shingles.

COST: \$300, complete.

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, December, 1886. In other localities and at different dates the cost will be somewhat modified. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

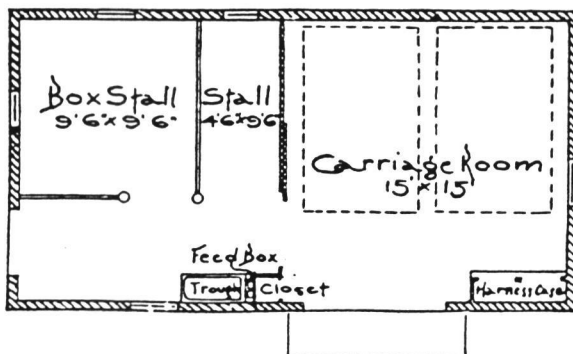
Details of the Cornices, Windows, Doors, Gables, Trim, Inside Finish, Colors, &c., &c. (these constitute the principal and distinguishing beauty of modern houses), are fully shown, on a large scale, in our Working Drawings, and careful directions for their execution are given in our Specifications.

This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—Space for two carriages in the carriage-room.

The stable can be made to accommodate three horses by dividing the box stall.

Stable and carriage-room are connected by a sliding door. Both rooms are floored with two-inch hemlock planks laid on chestnut sleepers.

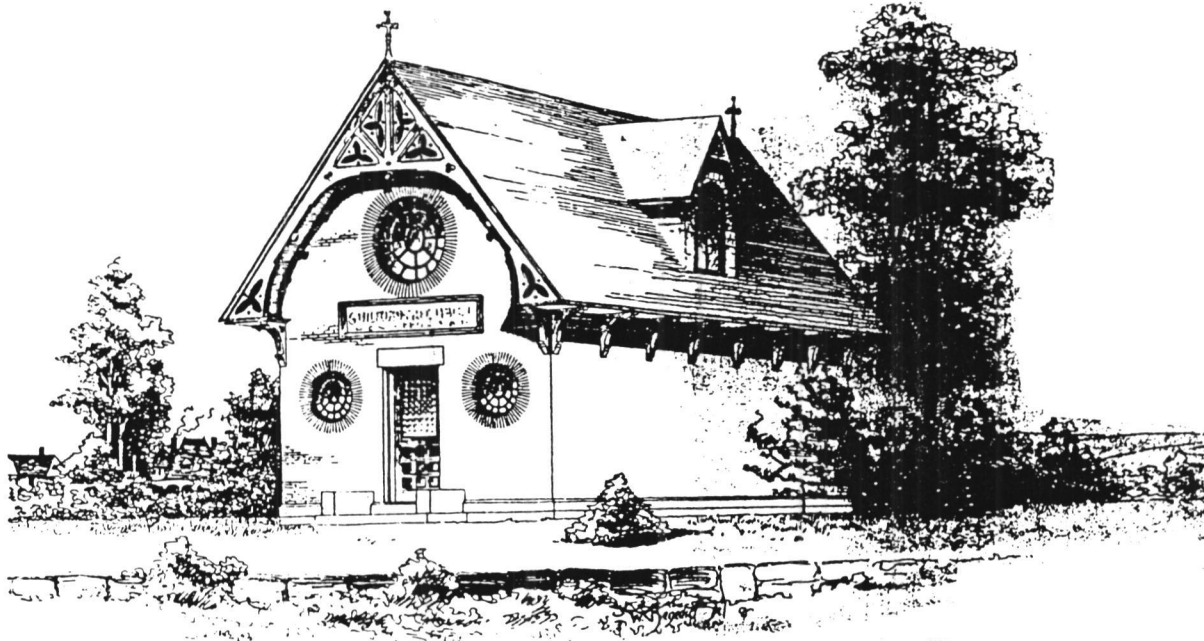


GROUND FLOOR, NO. 473

Hay loft over the carriage-room and the single stall, reached by a ladder. The remainder of the space (over the box stall) is open to the roof, on which is placed a ventilator.

Two grain bins are provided in the loft, with galvanized iron tubes leading to a feed box in the stable.

Figure 25 Modern Houses, 1887. Design for Stable



PERSPECTIVE.

DESCRIPTION.

For explanation of all symbols (* † etc.) see page 134.

GENERAL DIMENSIONS: Width, 17 ft. 4 in.; depth, including porch, 41 ft. 4 in.; height of story, 17 ft.

EXTERIOR MATERIALS: Foundation, all walls and gables, brick; pressed brick and stone sills; roof, tin.

INTERIOR FINISH: Yellow pine flooring, with under-flooring and felt between. White pine gallery and steps. Outside doors, oak. All wood-work finished with hard oil. Sand finish plaster walls and ceilings. Stained glass in all windows and doors.

COLORS: All brick and stone-work cleaned down at completion; pressed brick and stone left natural color; the body brick-work neatly re-pointed and evenly stained red. Outside doors and frames finished with hard oil, natural color. Trim, casings, cornices, bands, sashes and shutters, dark green. Tin roof, painted dark red.

ACCOMMODATIONS: One large room with a gallery 8 ft. above floor; staircase leading to gallery. The space on the main floor (except that marked Public) and in galleries is intended for book-cases. It is intended to heat the building by a stove set about the middle of the main floor; the pipe to descend into a sunken brick flue leading to the chimney, thus avoiding an ugly stove-pipe.

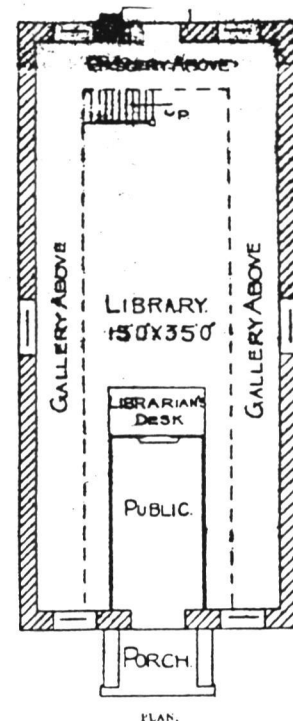
COST, \$1,500, not including heating apparatus. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

PRICE for working plans, specifications and * license to build, \$15.00

PRICE for full bill of materials, 10.00

ADDRESS, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS, 63 BROADWAY, NEW YORK.

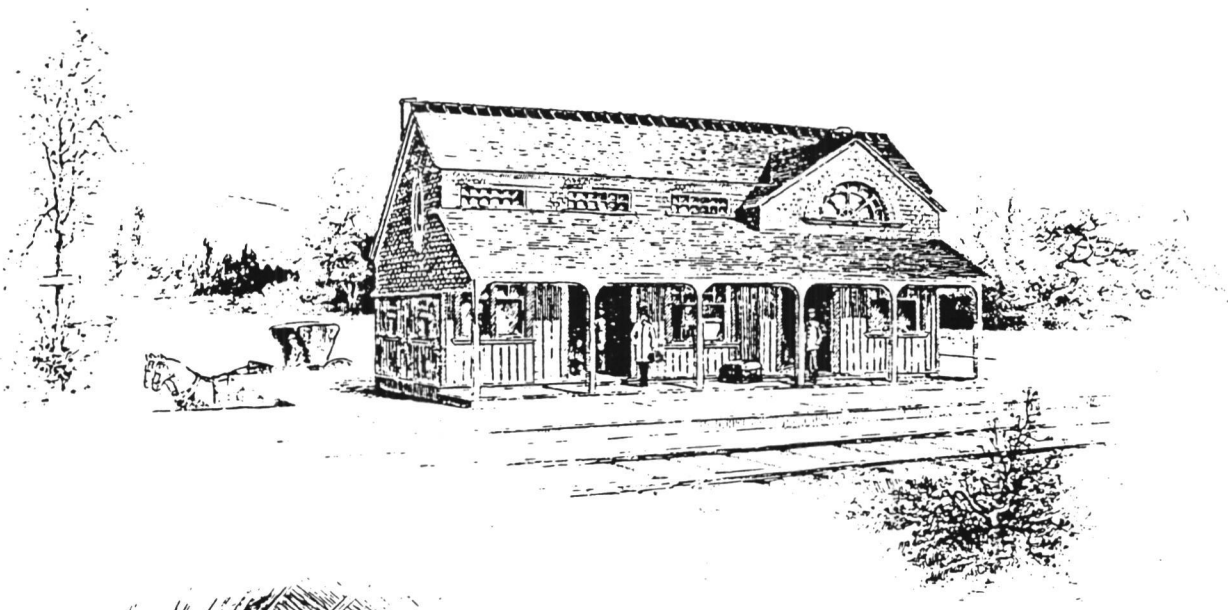
POSSIBLE MODIFICATIONS: Height of story, general dimensions, materials and colors may be varied. Cellar may be placed under a part or whole of building. Main floor may be concrete with removable sectional top floor.



PLAN.

Figure 26. Modern Houses, #17, 1890

Design for Library



DESIGN No. 472. PERSPECTIVE VIEW OF EXTERIOR

DESCRIPTION OF DESIGN NUMBER 472

SIZE OF STRUCTURE: Front, 41 ft. Side, including platform, 27 ft.

SIZE OF ROOMS: See floor plans.

HEIGHT: From floor to ridge, inside, 20 ft.

MATERIALS: Foundation, wood posts; Side Walls, siding and shingles; Roof, shingles.

COST: \$1,400, complete, including plumbing.

NOTES

The cost is figured from prices of material and labor in the neighborhood of New York City, December, 1886. In other localities and at different dates the cost will be somewhat modified. The publishers will be glad to acquaint the intending builder with this modified cost at any time.

Details of the Cornices, Windows, Doors, Gables, Trim, Inside Finish, Colors, etc., etc. (these constitute the principal and distinguishing beauty of modern houses), are fully shown, on a large scale, in our Working Drawings, and careful directions for their execution are given in our Specifications.

This design can be reversed, enlarged, reduced or altered to suit special wants. The specifications can be altered, also, to employ different materials that may be best or cheapest in any locality.

SPECIAL FEATURES.—A railway station of low cost.

The ladies' and gentlemen's waiting-rooms each have a flue for a stove.

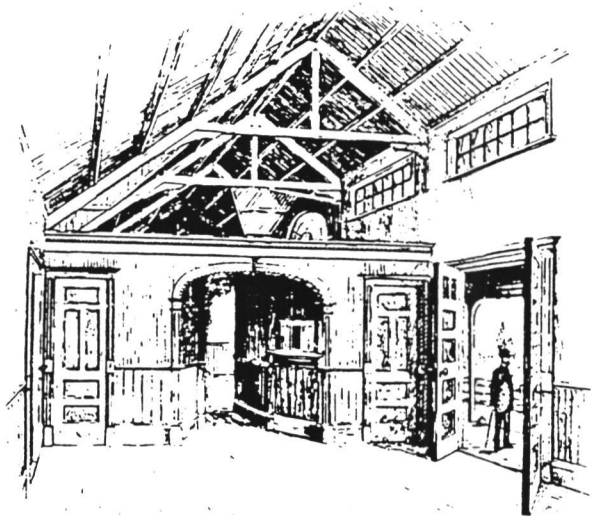
In the ticket-office there is a desk for a telegraphic instrument, a ticket rack, and two windows through which the tickets are sold.

The interior is finished with Southern pine—natural color. Wainscoting throughout both the waiting-rooms.

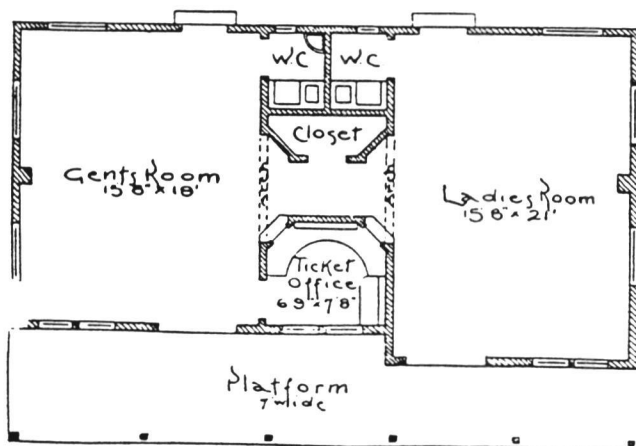
The water-closets are concentrated between the waiting-rooms, and have light and air direct from the outside.

The windows in the upper part of the waiting-rooms insure proper ventilation.

Figure 28. Modern Houses, 1887. Design for Railway Station



PERSPECTIVE VIEW OF INTERIOR. No. 472



FLOOR PLAN. No. 472

Modern Houses continued to be published in quarterly issues for thirty years. In 1907, it was superseded by Shoppell's Homes-Decorations-Gardens, an Illustrated Monthly Magazine for the Owner and Builder, published by Cooperative Architects, successors to the Cooperative Building Plan Association.⁴⁷ The new monthly magazine offered a very different format from the original quarterly catalog of designs. It included long descriptive articles about specific house designs, illustrated not only by scaled floor plans, but by photographs of exterior detail and interior decor. It included articles on interior decorating, heating, lighting, plumbing, and lawn and garden design.

The new magazine reflected the changing methods and modes of the new century in articles which recommended, for example, fire-proof all-concrete buildings.⁴⁸ (See Figure 29.) It continued to run advertisements for all kinds of products associated with building and decorating, (e.g. mantels, paints, fencing, dumb waiters, elevators, furnaces, etc.) and thus is a valuable record of techniques, products, and machinery of the day. (See Figure 30.) The new magazine also offered back copies of Modern Houses, for \$1.00 per volume, each quarterly volume containing approximately 60 designs.⁴⁹ During the early years of this century, these back issues of Shoppell's publications were sold until their supply was exhausted.

The new Shoppell's Homes - Decorations - Gardens was quite simply a home-and-garden-oriented magazine; it no longer served as a mail-order catalog of house plans. Other companies had, in the meantime, taken over that earlier function, for example the Radford Architectural Company of Chicago, Illinois, and the Gorden-Van Tine Company of Davenport, Iowa.⁵⁰ At the same time, George F. Barber was producing not only fine late Victorian houseplans, but also the prepared construction materials. In 1904, the Aladdin Company was established in Bay City, Michigan, and began circulating catalogs of house plans; like Barber, the Aladdin Company produced both house plans and prepared materials.⁵¹ Within a few years of the establishment of the Aladdin Company, Sears, Roebuck and Company entered the mail-order house business, and soon afterwards its greatest rival, Montgomery Ward, followed suit. By the time of World War I, Shoppell's Cooperative Building Plan Association had been replaced by companies which carried Shoppell's idea a step further in providing not only the plan but the product.

Conclusion

Robert W. Shoppell's publications are an outstandingly rich record of late Victorian houses in the United States. While the dwellings which his architects designed were not architecturally unique or even particularly innovative, the designs show in exceptional detail the houses in which middle- to upper-middle-class Americans lived or aspired to live. Shoppell's plans and specifications preserve for future generations information as to the building materials, dimensions, arrangement of rooms, decorative detail, paint colors, mechanical facilities, grounds and settings of the dwellings of late Victorian America. Several fine examples of these houses still stand in Prince George's County, and together with the collection of their published designs, are an invaluable source of information about America's late Victorian domestic architecture. These buildings exemplify the late nineteenth century ideal in housing at a time of tremendous suburban expansion, and were the direct forerunners of the popular Sears houses of the succeeding generation.

A SUBSTANTIAL FIREPROOF HOUSE.

COST, COMPLETE, \$22,000.

E. S. CHILD, Architect.

The house shown in the accompanying perspective, substantial and artistic as it is, would prove most impressive if erected on an appropriate site. The architect, Mr. Child, has bestowed unusual care in designing the plans and his object has been to provide for the construction of a home, which will not only be convenient and comfortable in all its details, but which will also attract admiring observation from all under whose eyes it comes. The projecting bay windows add materially to the looks of the building, and it forms, as a whole, a very pretty picture in the landscape by which it is surrounded.

The entrance piazza of this house is wide

with a cement or tiled floor and there is a side entrance, to which a porte cochere can be added, should the arrangement of the landscape permit.

The first story of the house contains a wide staircase hall, to the right of which is a small reception room, in which is a bay window and an open fireplace. The reception room is 12 feet 6 inches by 14 feet in dimension, and the staircase hall, 17 by 25 feet. Opening from the hall is the living room, 24 by 31 feet, which faces the veranda, which has an area of 14 by 31 feet. To the right of the staircase hall is a side hall which opens directly on the porch. To the rear of the staircase hall is

On the second story are four bedrooms, three bathrooms and two study rooms. The bed chambers are 17 feet 6 inches by 14 feet, 27 by 15 feet, 13 feet 6 inches by 19 feet, and 17 feet by 13 feet 6 inches in dimension. The servants' room are 9 by 10 feet and 12 feet 6 inches by 14 feet in area. A large dressing room, closets and a clothes chute are also found on this floor. On the third floor are four chambers and one bathroom. The bathrooms are equipped with every sanitary device known to the modern planner and ample ventilation is provided for every room of the building.

The interior finish of this delightful



E. S. CHILD, Architect.

A SUBSTANTIAL FIREPROOF HOUSE.

ened at both ends by an open terrace, and the real living piazza of the house, on which the family and its guests will enjoy the Summer air, is on the side. It is spacious and homelike and can be enclosed in glass, during the Winter months, making of it a beautiful sun parlor. A feasible modification of the plans would be the building of a fireplace for this sun parlor, connecting with the same chimney shown in the design.

The building material of this home is intended to be hollow tile, one of the best fireproof materials yet discovered, and the building should have a flat tiled roof. For a roof first floor about \$550 should be added to the estimated cost, which is \$22,000. The open terrace should be finished

the dining room, 20 by 16 feet, and adjoining this a conservatory, 13 by 30 feet. On the other side of the dining room is a spacious butler's pantry, connected with the kitchen, this latter room being 13 by 17 feet in area and equipped with every device to add to the convenience of the chef and his aids. Back of the kitchen is a room devoted to the use of the servants, and from this the back porch can be reached. The dining room is separated from the hall by doors of leaded glass. In the living room, which is the finest in the house, is an open fireplace and a number of bookcases, designed in the same style as the exterior. The dining room also has an open fireplace, which will inspire the appetite on a cold day in Winter.

may be arranged to meet the tastes of the builder. As suggested by the architect, the staircase hall should be finished in white with a mahogany handrail to the stairs and a mahogany wainscot 20 inches high. The dining room should be finished in mahogany, the reception room in enamel white and the living room in dark oak. The design contemplates the finish of the second story except the bathrooms and dressing room, in enamel white. The bathrooms and dressing room are to be finished in birch, and the third story and kitchen in natural white wood.

The heating of this house is to be either by hot water or by a ventilating system of hot air.



MANTELS

At Factory Prices.

We sell direct to the consumer, thereby saving you from 35 to 50 per cent. on your purchases. Our output is enormous and we ship to every State and every part of the Globe. Our designs are the most exclusive and exquisite ever produced and we have them at all prices, but always 35 to 50 per cent. less than dealers charge. Send 10c. in stamps to cover postage, for our large, handsome catalogue (9 x 12 ins.) showing 50 elegant designs.

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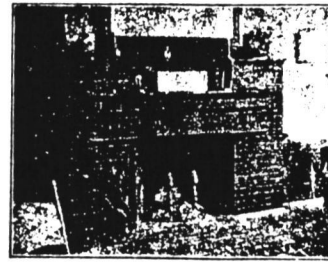
Prices Low Because as manufacturers we sell direct to those who use them, saving to the buyer the intermediate profit.

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so suitable and so durable. Our customers say so. They are inexpensive and can be easily set by local brickmasons. If you are remodeling send for our Sketch Book showing 53 designs of Mantels from \$12.00 upwards. **PHILADELPHIA & BOSTON FACE BRICK** 4 Y LIBERTY SQUARE, 0 0 0 0 0 BOSTON

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by enclosing it with one of our durable and attractive **IRON OR WIRE FENCES.**

Send a diagram showing the number of feet required and state height



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Fifty designs to select from and our prices are sure to be satisfactory.
ENTERPRISE FENCE AND FOUNDRY
368 So. Senate Avenue, Indianapolis, Ind.

"A rose by any other name would smell as sweet," but paint by any other name than the **HORSE SHOE BRAND**—secret paint—paint with no pedigree, ashamed of its character and afraid of its history, may well be doubted.

THE Horse Shoe Brand

is all paint, true paint and pure paint, nothing but paint. You get the proof before you get the paint. That makes you safe. That makes you sure of quality and certain of results.

Ask for the Analysis, which shows the composition to be Zinc White, White Lead, Linseed Oil, and the necessary tinting color and drier, all strictly pure and high grade. Don't guess at contents or gamble on quality. Get the **HORSE SHOE BRAND**. Its purity is your surety.

GREGG VARNISH CO.'S

BRANDS ARE PUT UP ON THE SAME HIGH STANDARD, AND THE SAME EXCELLENCE IN RESULTS FOLLOWS THEIR USE.

Gregg's Crystal Preservative and Gregg's Light Hard Oil Finish for Inside Work, and Gregg's Spar Varnish for Outside Work. Gregg's Floor Varnish, are house finishers par excellence.

MOUND CITY PAINT & COLOR CO.

GREGG VARNISH CO.

ST. LOUIS, MO., U. S. A.

North B. Gregg, Pres. Wm. H. Gregg, Jr., Vice-Pres. E. H. Byer, Sec'y.

ARTISTIC MANTEL

Our line embraces everything needed for the fireplace, and our mantels range in price from \$2.65 up. Catalogue free.

THE GEO. W. CLARK CO.

91 Dearborn St., Chicago, Ill. 306 Main St., Jackson

(Factory, Knoxville, Tenn.)



HOMES OF COMFORT

A home of comfort is the fulfillment of most men's ideals of earthly happiness. It is the securing of the warmth, good cheer and comfort that can only come from a perfect system of heating. "Thatcher" heating apparatus is noted for its superior quality and construction. Has been used by leading architects and builders for 58 years.

FURNACES, RANGES, STEAM and HOT WATER HEATERS.

Illustrated Booklet, Homes of Comfort, Sent Free.

THATCHER FURNACE COMPANY

240 Water Street, New York.



When writing Advertisers, please mention Shoppell's Homes Decorations Gardens.

Figure 30. Shoppell's Homes Decorations Gardens, No. #1, Jan. 1907

Notes

- 1 Sloan, Samuel, The Model Architect, in two volumes, Philadelphia, 1852.
- 2 Palliser and Palliser, Model Dwellings, New York, 1892. Palliser and Palliser, American Architecture, New York, 1888; Palliser's Modern Buildings, New York, 1891; Palliser's Up to Date House Plans, New York, 1906.
- 3 Shoppell, R.W., Artistic Modern Houses of Low Cost, New York, 1881; on microfilm, Library of Congress, Hitchcock collection of American Architecture.
- 4 Shoppell, R. W., How to Build, Finish and Decorate, New York, 1883; on microfilm, Library of Congress, Hitchcock collection; preface.
- 5 Title page, How to Build, Furnish and Decorate, cf. Note 4.
- 6 Shoppell, R. W., Building Plans for Modern Low Cost Houses, New York, 1884.
- 7 Shoppell's Modern Houses, An Illustrated Architectural Quarterly, New York, 1886-1907 (Library of Congress, University of Maryland Architecture Library, Case Western Reserve Library, Boston Public Library, Volumes 1 through 85).
- 8 Shoppell's Modern Houses, Volume I, No. 1, January 1886, "Miscellaneous Notes."
- 9 ibid.
- 10 Shoppell's Modern Houses, Volume I, No. 2, April 1886, "Miscellaneous Notes."
- 11 ibid.
- 12 Shoppell, R. W., Building Plans for Modern Low Cost Houses, New York, 1884: "Getting Ready to Build, Helpful and Practical Hints".
- 13 Shoppell's Modern Houses, January 1886 et passim.
- 14 Shoppell, R. W., Builder's Portfolio and Handbook, New York, 1886. cf. advertisement, Modern Houses, Volume I, No. 4, October 1886, p. VIII.
- 15 Shoppell's Modern Houses, passim.
- 16 Shoppell's Modern Houses #10, 1889; cf. also description of Design #204, 1887.
- 17 Shoppell's Modern Houses, Selected Designs, p. 12, undated (Rare Book collection, University of Maryland Architecture Library).

- 18 Shoppell's Modern Houses, No. 5, January 1887.
- 19 Shoppell's Modern Houses, No. 15, 1890.
- 20 Prince George's County Deed JWB #11:362; Prince George's County Equity #4324; Prince George's County Estate File #1757; Prince George's Enquirer, 19 September 1913.
- 21 Shoppell's Modern Houses, No. 15, 1890.
- 22 Prince George's County Tax Assessments, 1888-1897; MHT Inventory files, PG #60-4 and #60-8; "Country Homes and Their Improvement" on microfilm, Library of Congress, Hitchcock collection; Washington Star, "The Rambler", 21 November 1921.
- 23 G. M. Hopkins, Atlas of Fifteen Miles Around Washington "Historical Sketch of Prince George [sic] County, Maryland."
- 24 cf. MHT Inventory File PG #67-22, Berwyn Heights Survey District.
- 25 Shoppell's Modern Houses, No. 15 and following, 1890.
- 26 cf. Note #3
- 27 The Baltimore American, ten consecutive Sunday issues, 31 March through 2 June 1889.
- 28 Washington Evening Star, 3 November 1887, Hyattsville correspondence.
- 29 Prince George's County Deeds JWB #8:73, 74; JWB #10:171; JWB #14:314; Equity #1798 and #2305. See MHT Inventory Form PG #68-16.
- 30 Prince George's County Deeds #63:532, #364:439. See MHT Inventory Form PG #68-18.
- 31 Prince George's County Deed JWB #9:127, plat JWB #10:309; Prince George's County Tax Assessments, 1888-90.
- 32 Shoppell, Modern Houses, Vol. #23, 1891.
- 33 Shoppell, Artistic Modern Houses of Low Cost, 1888, Design #216.
- 34 Prince George's County Deeds JWB #21:225; #521:341; Prince George's County Tax Assessments, 1888-1900. See MHT Inventory Form PG #67-11.
- 35 Prince George's County Deed JWB #10:478; Prince George's County Equity #1996. See MHT Inventory Form PG #67-17.
- 36 Shoppell's Modern Houses, Vol. #38, 1892, p. 200.
- 37 Prince George's County Deed JWB #15:258.

- 38 Prince George's County Deeds #22:211, #313:543; Prince George's County Tax Assessments 1888-1910; Census for Prince George's County, 1900. See MHT Inventory form PG #67-12.
- 39 Description of Design #204, Shoppell's Modern Houses, 1887.
- 40 Prince George's County Deeds JWB #15:739; #23:176; #2739:471. See MHT Inventory Form PG #67-14.
- 41 See MHT Inventory Forms PG #67-19 and -18.
- 42 See MHT Inventory Forms PG #67-10, -13, -15 and -16.
- 43 Prince George's County Deed, JWB 21:225.
- 44 Laws of Maryland 1896, Chapter 267; Prince George's County Tax Assessments, 1890-1910; Census for Prince George's County, 1900, 1910.
- 45 See MHT Inventory File PG #67-22, Berwyn Heights Survey District.
- 46 Shoppell's Modern Houses, Vol. #38, 1892: p. 198, Design #216 (PG #67-11); p. 199, Design #444 (PG #68-16); p. 200, Design #449 (PG #67-12).
- 47 Shoppell's Homes, Decorations, Gardens for the Owner and the Builder, New York, 1907 and following.
- 48 ibid, Volume 11, November 1909; Volume 12, December 1909; Volume 3, March 1910; Volume 4, April 1910, etc. cf. MHT Inventory Form PG #77-14.
- 49 ibid. No. 1, January 1907, p. 35.
- 50 Gowans, Alan, The Comfortable House, 1986, pages 41-55.
- 51 ibid.

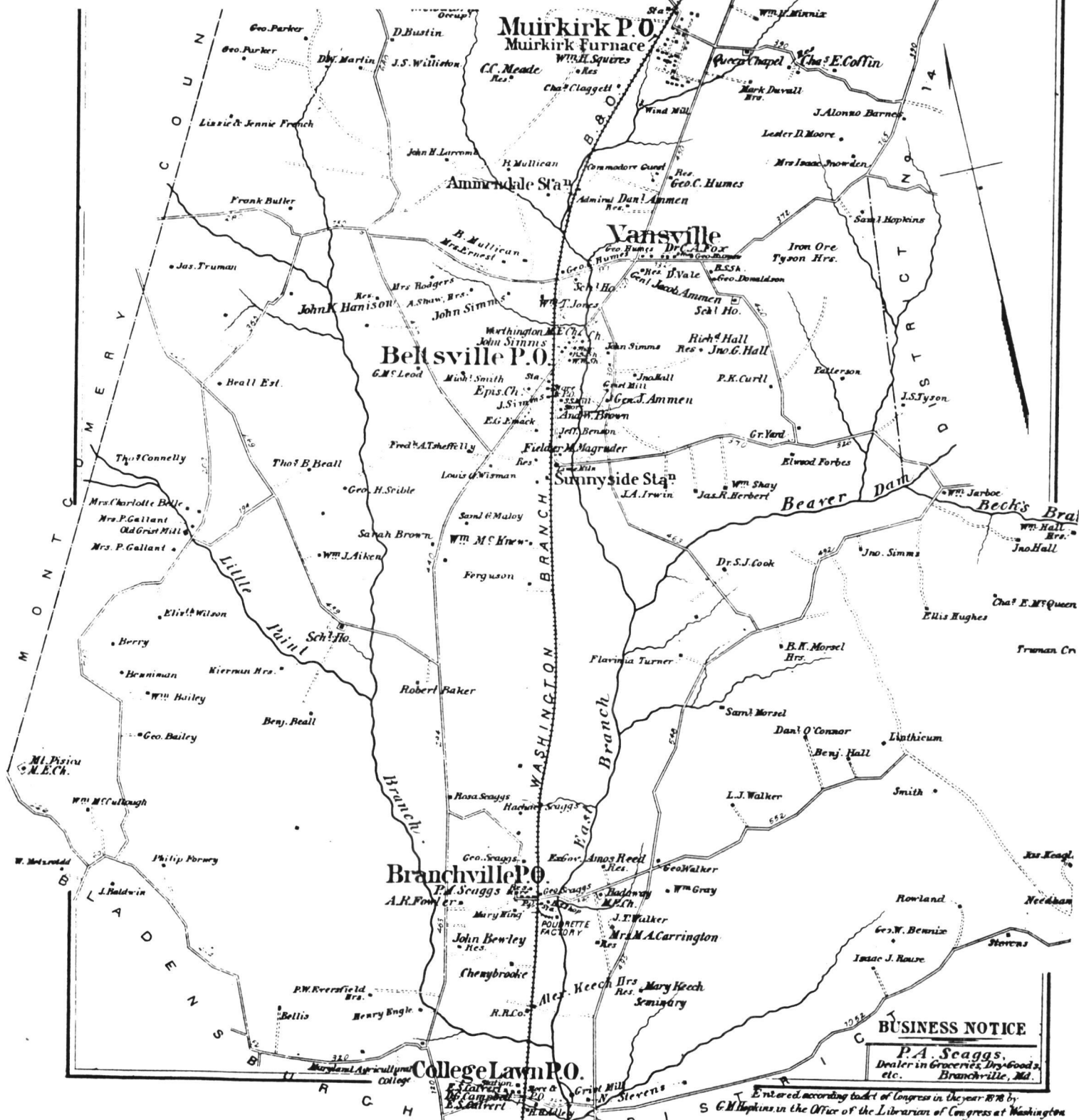
Appendices

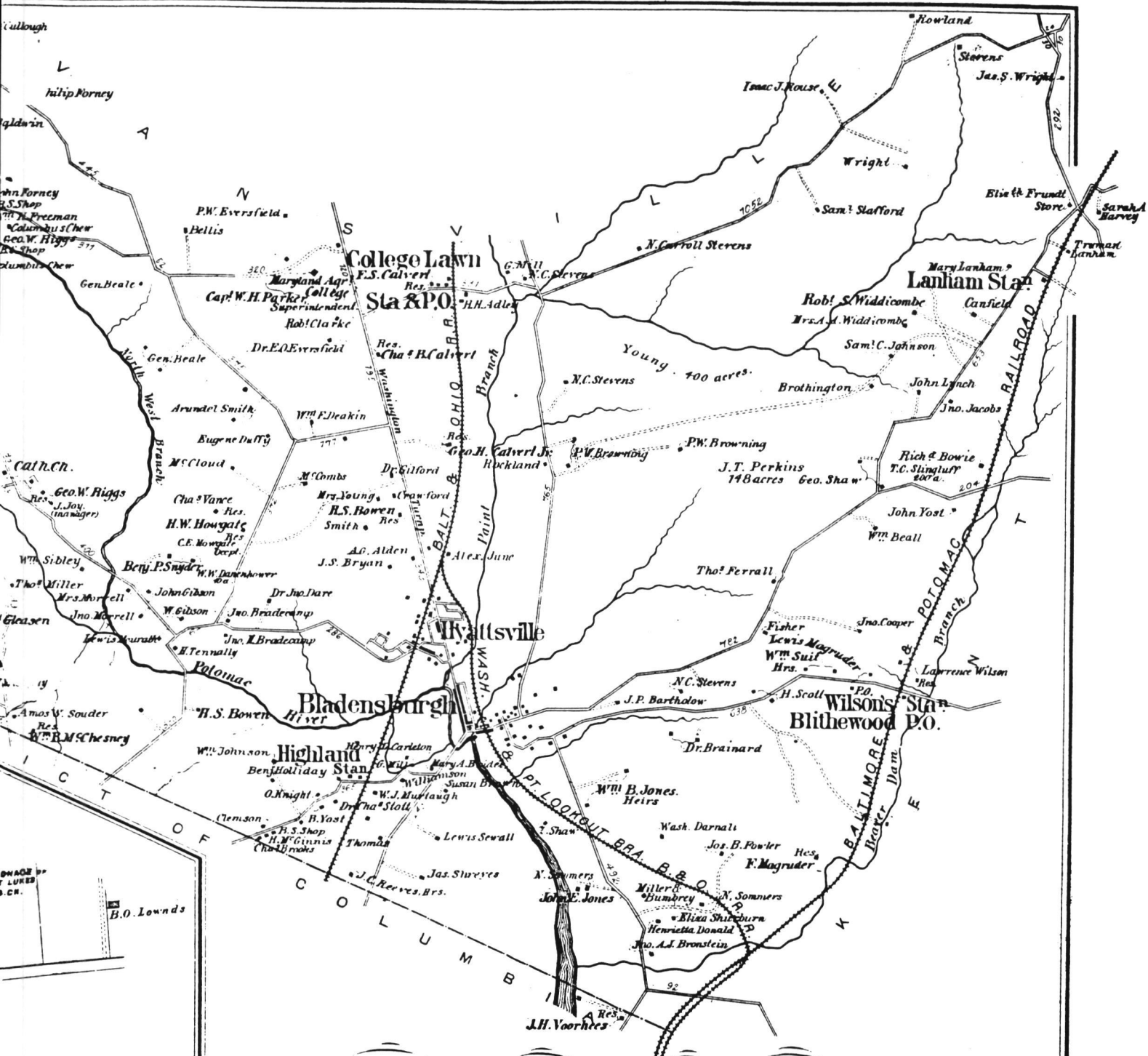
- A. G. M. Hopkins Atlas of Fifteen Miles Around Washington, 1878.
 - 1. Prince George's County Election District #1 before the development of Charlton Heights.
 - 2. Prince George's County Election District #2, showing Hyattsville before the development of Wine and Johnson's Additions.
- B. G. M. Hopkins Map of the Vicinity of Washington, D. C., 1894.
 - 1. Showing development of Hyattsville and Charlton Heights.
- C. Topographical maps showing location of Shoppell-plan houses.
 - 1. Wine and Johnson's First and Section Addition to Hyattsville.
 - 2. Berwyn Heights (established in 1888 as Charlton Heights).
- D. "Fifty Favorites", Modern Houses #38, 1892, pp. 191-223.

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Prince George Co.

Scale 2 Inches to the Mile.





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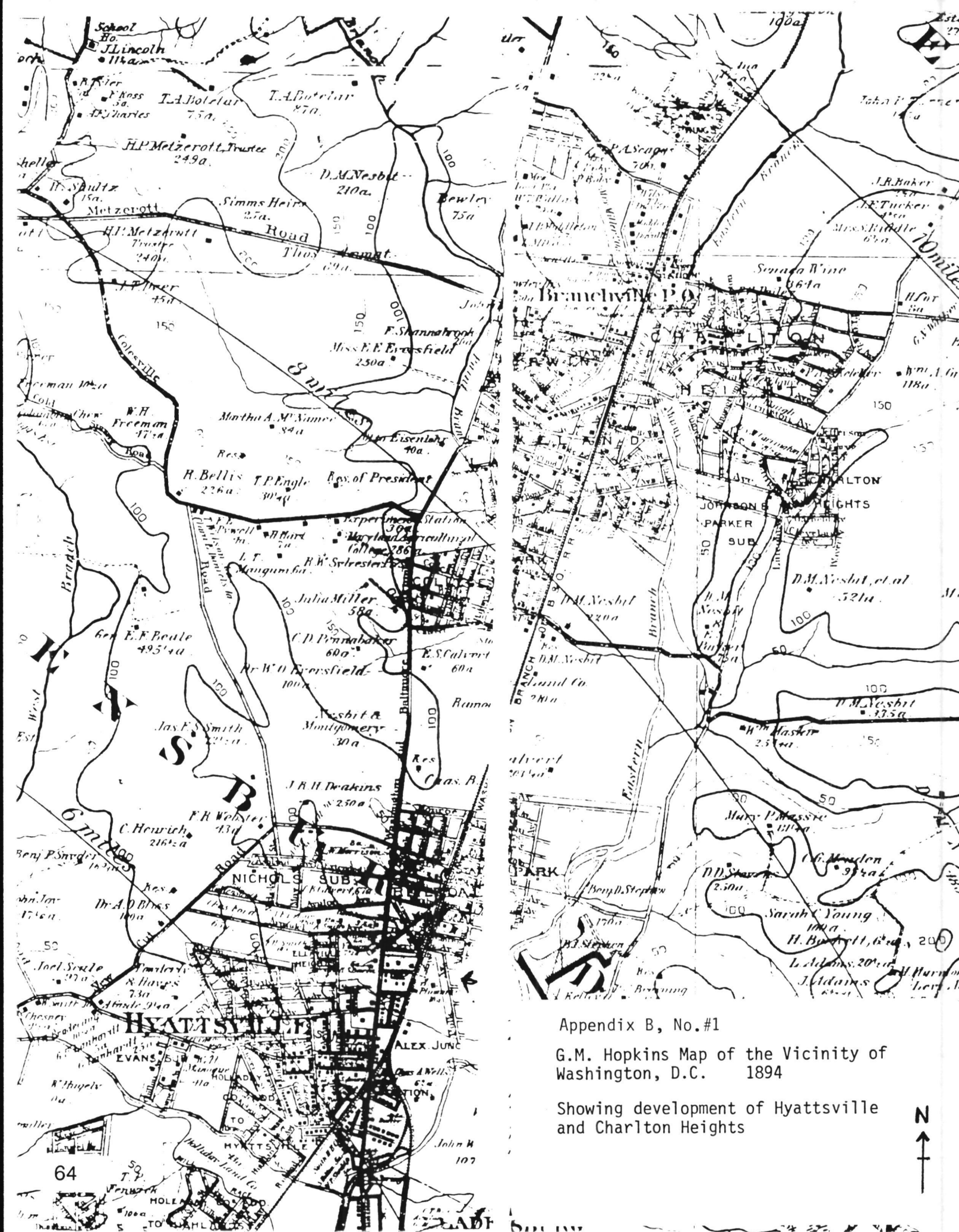
PRINCE GEORGE

Scale 2 inches to 1

Appendix A, No. #2

G.M. Hopkins Atlas of Fifteen
Miles around Washington, 1878

Prince George's County Election
District #2, showing Hyattsville before
the development of Wine and Johnson's
Additions





SHOPPELL'S MODERN HOUSES.

Fifty Favorites.

A Collection that cannot be Duplicated.

Our Guaranteed Estimates.

On the following pages will be found 50 designs selected from the 9,000 houses built from our plans. They range in cost from the attractive \$6000 cottage to the costly mansion, those of a low or moderate cost predominating. All have been built, some of them as many as 300 times. Costs have been proven beyond question, which puts us in the position to state that if any of these designs cannot be built within our contract price, the plans may be returned (see conditions on page 225).

The cost of these structures as given by us on each page with the design is the cost of labor and materials, (based on New York prices) and does not include mantels, range, heater or contractor's profit. For all of these we add 30 per cent. for the vicinity of New York.

In many other localities where labor and materials are cheaper, the cost will be much less than indicated above. See pages 204 to 207 for method by which the cost of all our designs are figured.

Many people think it is an unnecessary expense to invest in working plans, etc., that their builders can draw up plans or they follow rough sketches of their own. This is a great error. It would be true economy to pay even five times as much as our charges for proper plans, etc.; without them mistakes are sure to occur, and to rectify a single mistake often costs much more than the cost of the plans.

The perspective views, floor plans and descriptions, as they appear in this publication, are as full and complete as

space permits, quite sufficient to enable the owner to select a design, but not sufficient to enable the contractor to figure intelligently as to cost. For the last named purpose the owner must place before the contractor full working plans, specifications and details. In the absence of such essential information the contractor must necessarily make a high bid. A low bid—even a fair one—is an impossibility. If you cannot get a bid within our contract price you may return plans.

(The following refers to design No. 586, page 222.)

East Orange, N. J.
R. W. Shoppell, Archt., 63 Broadway,
New York City.
Sept. 26th, 1893.

Dear Sir:

I have just completed, from the plans and specifications furnished by you, design No. 586. My house attracts much attention and is very favorably commented on. It is a beautiful house, outside and inside, very convenient and admirably adapted to our needs. I built within your estimate.

Other houses not as large, convenient or as well finished, built the same season, cost several hundred dollars more. Your plans are worth many times their cost to anyone wishing to build.

Very respectfully yours,
S. M. Browne.

The above is one of the many complimentary letters we receive (see pages VI, VII, VIII and IX for hundreds of others indorsing our methods).

Shoppell's Modern Houses.

Cottage, Design No. 769

Shoppell's Modern Houses.

Cottage, Design No. 879

DESCRIPTION.

For explanation of all symbols (S) see page 225.
GENERAL DIMENSIONS: Width, 20 ft.; depth, including porch, 30 ft.
HEIGHTS OF STORIES: First story, 8 ft. 6 in.; second story, 7 ft. 6 in.
EXTERNAL MATERIALS: Foundations, posts, first story, clapboards, second story, gables and roof, shingles.
INTERNAL FINISH: Two coat plaster. Soft wood flooring, trim and stairs. All interior wood work painted in colors to suit owner.
COLORS: All clapboards, light terra cotta. Trim and outside doors, dark red. Porch floor dark slate. Porch ceiling, oiled.
ACCOMMODATIONS: The principal rooms and their uses, closets, etc., are shown by the floor plans. No cellar and no finish in attic. Attic space can be floored and used for storage purposes. Numerous and large closets.
COST: \$695. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price of working plans (with full details drawn to large scale), specifications, and * license to build, \$15.00
Price of 11 full of materials, 5.00
FURNISHING MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be introduced under the whole or a portion of the house. Kitchen extension may be added back of living room. Fireplaces may be introduced in parlor and living room. Porch may be increased in size.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

DESCRIPTION.

For explanation of all symbols (S) see page 225.

GENERAL DIMENSIONS: Width, including bay, 27 ft.; depth, including veranda, 27 ft. Heights of stories: First story, 8 ft. 6 in.; second story, 8 ft.
EXTERNAL MATERIALS: Foundations, posts or pier, first story, clapboards; bay window, gables, dormers and roof, shingles.
INTERNAL FINISH: Two coat plaster. Soft wood flooring, trim and main floor, interior wood-work finished with hard oil.
COLORS: Body, all clapboards, and shingles of bay window, shingles in gables and eaves of dormers painted with burnt sienna and oil. Roof shingles, dark red. Sills, bronze green. Blinds, terra cotta. Veranda floor and ceiling, oiled.
ACCOMMODATIONS: The principal rooms and their uses, closets, etc., are shown by the floor plans. Open fireplace in living room, and chest of bay window. Front door glazed.
COST: \$550. The estimate is based on New York prices for

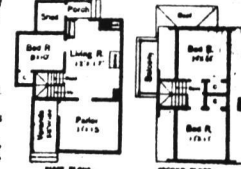
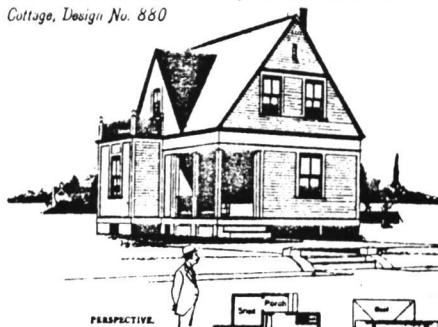
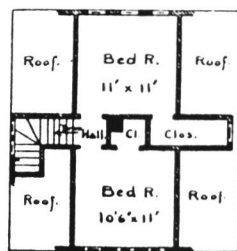
materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications, and * license to build, \$15.00
Price for 11 full of materials, 5.00
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FURNISHING MODIFICATIONS: Heights of stories, general dimensions, materials and colors may be changed. Living room may be replaced by two rooms, the front one enlarged by a bay extending upon the veranda. The spaces marked "roof" on second floor plan may be utilized for closets and storage. Cellar may be placed under part or whole of house, or a circular cellar as described on page 7 may be built. Bay window may be omitted. The side dormer opening into closet in second story may be omitted. The hall in second story may be made wider, and the space occupied by closets replanned for bath room, with partial or full plumbing. The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Cottage, Design No. 880

DESCRIPTION.

GENERAL DIMENSIONS: Width, 23 ft. 6 in.; depth, 33 ft. 6 in.; HEIGHTS OF STORIES: Cellar, 6 ft. 6 in.; first story, 8 ft. 6 in.; second story, 8 ft.
EXTERNAL MATERIALS: Foundations, brick walls, first story, clapboards; gables, shingles; roof, tile and shingles.
INTERNAL FINISH: Side walls finished for papering; ceilings, hard white plaster. Soft wood flooring and trim. Stairs and trim finished with hard oil.
COLORS: Clapboards, Colonial yellow. Trim, ivory white. Doors finished with hard oil. Blinds, Colonial yellow. Sashes and veranda floor, dark red. Veranda ceiling to be oiled. Shingles on gables to be oiled. Shingled roof left unfinished.
ACCOMMODATIONS: The principal rooms and their uses, closets, etc., are shown by the floor plans. Cellar under the whole house with inside and outside entrances. The lot is floored for light storage, and is accessible through a passage in second story hall ceiling. Large closet for each bedroom.
COST: \$825. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price of working plans (with full details drawn to large scale), specifications, and * license to build, \$15.00
Price of 11 full of materials, 5.00
FURNISHING MODIFICATIONS: Heights of stories, general dimensions, materials and colors may be changed. A portion of, or entire cellar may be omitted. The shed could be replaced by a bath room. Open fireplace could be added in living room and parlor.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



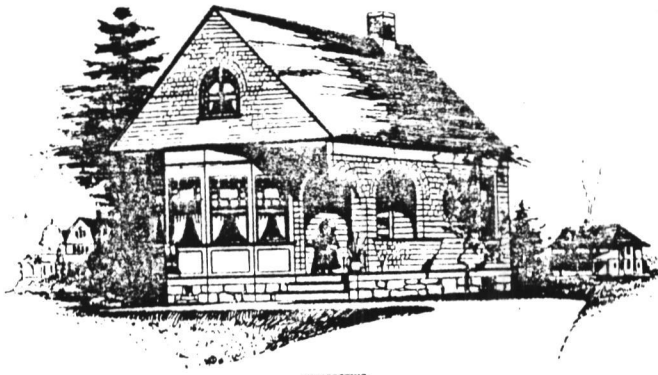
SHOPPELL'S MODERN HOUSES. Fifty Favorites—Continued.

Shoppell's Modern Houses.

Lodge or Cottage, Design No. 632

Shoppell's Modern Houses.

Cottage, Design No. 13



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (P) see page 289.

GENERAL DIMENSIONS: Width, 22 ft. 6 in.; depth, 36 ft. 6 in. Heights of main: Cellar, 8 ft.; first story, 8 ft. 6 in.; second story, 8 ft.

EXTERIOR MATERIALS: Foundation, stone; side walls, gables and roof, shingles.

INTERIOR FINISH: Two coats of plaster and paper. Trim, staircase and flooring, white pine (or other soft wood), hand finished in first story and painted in second story.

COLORS: Roof, shingles, stained red; all other shingles stained green. Trim and outside doors painted green; inside on bay and beds of main entrance, lighter green. Bathen, red. Porch floor and ceiling, and brick work of chimney, tiled. Stone work painted with red mortar.

ACCOMMODATIONS: The principal rooms and their sizes are shown by the floor plans. There is a small cellar under the kitchen with an outside entrance to same.

COST: \$600.

The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

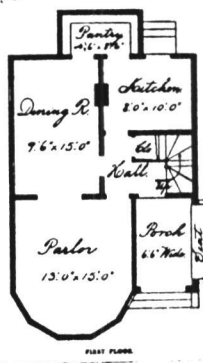
Price for working plans, specifications and * license to build, \$15.00
Price for 11 bill of materials, \$5.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 43 Broadway, New York.

FEASIBLE MODIFICATIONS: Heights of stories, colors, size of rooms, and kinds of materials may be changed. Cellar may extend under whole house. Porch may be omitted. A veranda may extend across the front carrying the gable forward to cover the same; this would enlarge the second story.

The price of working plans, specifications, etc. for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Shoppell's Modern Houses.



FIRST FLOOR



SECOND FLOOR

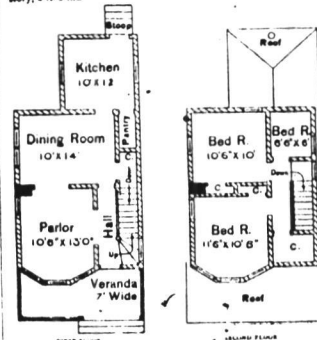
Cottage, Design No. 776



DESCRIPTION.

For explanation of all symbols (P) see page 289.

GENERAL DIMENSIONS: Width, 18 ft.; depth, including veranda and kitchen extension, 42 ft. 6 in.
Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft.; second story, 8 ft. 6 in.



FIRST FLOOR

SECOND FLOOR

Shoppell's Modern Houses.

Cottage, Design No. 776

EXTERIOR MATERIALS: Foundation, brick; first and second stories, except side walls of second story bay, clapboard; side walls of second story bay, gables and roof, shingles.

INTERIOR FINISH: Hard white plaster throughout. No wood flooring, trim and stairs. All interior wood-work painted in colors to suit owner.

COLORS: All clapboards, light brown. Trim, dark brown; side doors, panels, light brown; stairs and rails, dark brown; bathen, dark green. Veranda floor and ceiling, tiled. Shingles, dark brown; walls and gables, stained green. Roof shingles left natural.

ACCOMMODATIONS: The principal rooms and their sizes are shown by the floor plans. Cellar under the hall, porch and dining room. No attic rooms, but space in the attic for storage purposes. The kitchen has a tile floor. Bay window in the parlor and bed-room over parlor. Wide portiere opening between dining room and parlor and parlor and hall.

COST: \$1,000. The estimate is based on New York prices for materials and labor. In many sections of the country, it should be less.

Price of working plans (with full details drawn to scale, ready specifications and * license to build, \$15.00
Price of 11 bill of materials, \$5.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, New York.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be carried under kitchen and dining room, or a circular cellar may be carried under the parlor and bed-room. The price of working plans, specifications, etc. for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



DESCRIPTION.

For explanation of all symbols (P) see page 289.

GENERAL DIMENSIONS: Width, through dining room and kitchen, 23 ft. 6 in.; depth, including veranda, 33 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 8 ft. 6 in.; second story, 8 ft.

EXTERIOR MATERIALS: Foundation, stone and brick; first and second stories, gables and roof, shingles.

INTERIOR FINISH: Two coats of plaster. Soft wood flooring, trim and stairs. Interior wood-work painted colors to suit owner.

COLORS: Body, sides, gables and roof (shingles), left natural. Trim, ivory white. Bathen, ivory white. Blinds, Colonial yellow. Veranda ceiling and floor, tiled.

ACCOMMODATIONS: The principal rooms and their sizes are shown by the floor plans. Cellar under parlor and dining room. Double folding door connects parlor with hall and dining room. Above all front bedrooms serve as dressing room.

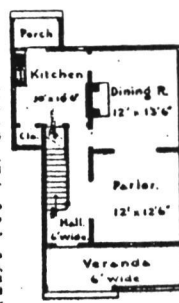
COST: \$700 (not including mantel, range and heater).

The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

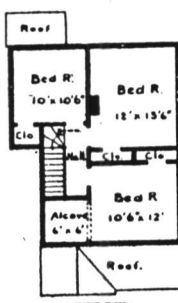
Price for working plans, specifications and * license to build, \$15.00
Price for 11 bill of materials, \$5.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, New York.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Sliding door may connect hall, parlor and dining room. Another chimney may be introduced in the parlor. Above all front bedrooms may be partitioned off for a half bathroom, with entrance directly from hall. Cellar may be extended under whole house or omitted entirely. A



FIRST FLOOR



SECOND FLOOR



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (P) see page 289.

GENERAL DIMENSIONS: Width, 20 ft. 6 in.; depth, 36 ft. Heights of stories: First story, 8 ft. 6 in.; second story, 8 ft.

EXTERIOR MATERIALS: Foundation, posts or piers; first story, gables and roof, shingles.

INTERIOR FINISH: Two coats of plaster. Soft wood flooring, trim and staircase. Interior wood-work varnished and stained to suit owner.

COLORS: Body, sides, gables and roof (shingles), left natural. Trim, ivory white. Bathen, ivory white. Blinds, Colonial yellow. Veranda ceiling and floor, tiled.

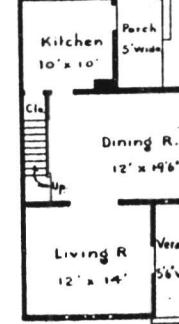
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc. are shown by the floor plans. Loft floored for storage. The veranda and porch are plastered under main roof, thus economizing materials. Dining room and living room connected by wide door way.

COST: \$750. The estimate is based on New York prices for materials and labor. In many sections of the country, it should be less.

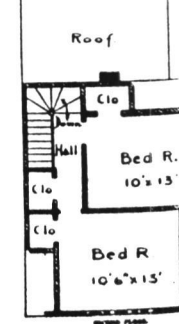
Price for working plans, specifications and * license to build, \$15.00
Price for 11 bill of materials, \$5.00

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, New York.

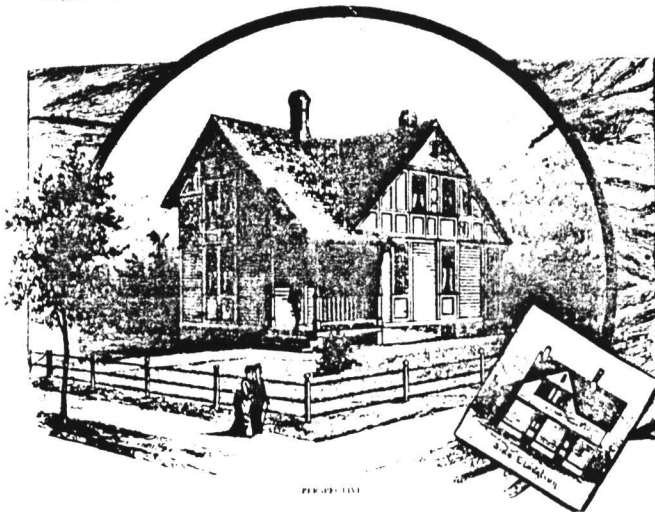
FEASIBLE MODIFICATIONS: Heights of stories, general dimensions, materials and colors may be changed. Cellar may be carried under part or whole of building, or a circular cellar may be carried under the parlor and bed-room. The price of working plans, specifications, etc. for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



FIRST FLOOR



SECOND FLOOR



DESCRIPTION.

For explanation of all symbols (S) see page 222.

GENERAL DIMENSIONS. Width, 24 ft.; depth, 30 ft.; not including 8 ft. long rear porch. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft.

EXTERIOR MATERIALS. Foundation, piers, first story, clapboards; second story and roof, shingles; gables, shingles and panels.

INTERIOR FINISH. Hard white plaster. Flooring, trim and stairway, soft wood, finished in hard oil.

COLORS. Upwardly, outside door framing for porch, and washers, light brown. Trim, outside door panels, veranda ceiling and rain water conduits, dark brown. Veranda floor, oiled. Wall shingles dipped in and brush coated with terra stain. Roof shingles unpainted.

ACCOMMODATIONS. The principal rooms and their sizes, closets, etc., are shown by the floor plans. There is a cellar, stairs to it, with plank walls, and a stairway to same from the dining room. There are four gables. A good veranda or mountain cottage.

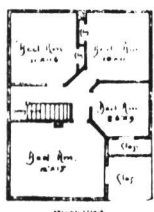
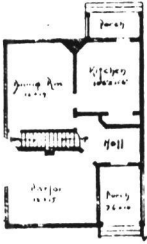
COST. \$1,287. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and "license to build," \$15.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

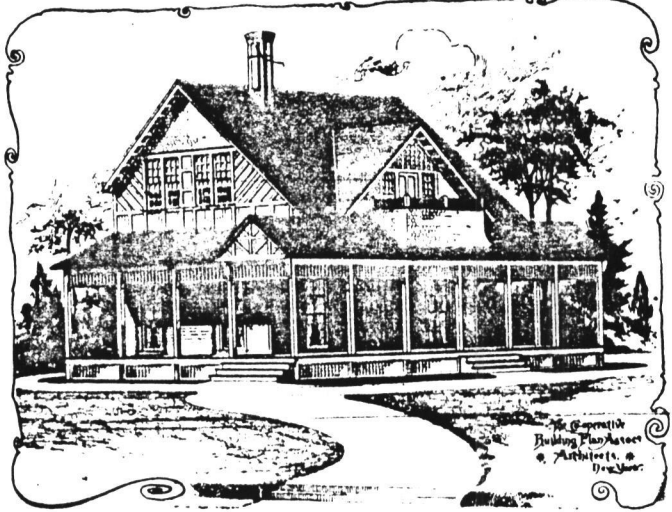
FEASIBLE MODIFICATIONS. Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may extend under whole house or be omitted entirely. Porch may be extended across front. May be built with plank construction and paper on outside instead of plaster, at somewhat lower cost than cost estimate. Estimate is for full iron frame.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required and will be made known upon application to the Architects.



Shoppell's Modern Houses

Cottage, Design No. 344



DESCRIPTION.

For explanation of all symbols (S) see page 222.

GENERAL DIMENSIONS. Width, including veranda, 32 ft.; depth, including veranda, 32 ft. Heights of stories: First story, 10 ft.; second story, 9 ft.

EXTERIOR MATERIALS. Foundation, piers: first story, clapboards; second story, shingles and panels; roof, shingles.

INTERIOR FINISH. Hard white plaster. Flooring, trim and stairway, soft wood, finished in hard oil.

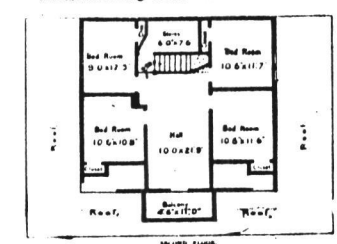
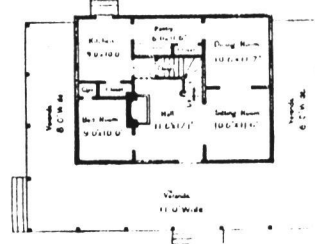
COLORS. Clapboards and second story shingles, light brown. All trim, white.

ACCOMMODATIONS. The principal rooms and their sizes, closets, etc., are shown by the plans. No cellar; the house is designed for summer occupancy. Last over second story. Boarded for storage space.

COST. \$1,200. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and "license to build," \$15.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.



Shoppell's Modern Houses

Cottage, Design No. 596



DESCRIPTION.

For explanation of all symbols (S) see page 222.

GENERAL DIMENSIONS. Width, through dining room and kitchen, 24 ft. 6 in.; depth, 30 ft. 6 in. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft.

EXTERIOR MATERIALS. Same foundation; clapboards for first story, shingles, except second story front, shingles for second story, gables and roof.

INTERIOR FINISH. Two coat plaster, hard white finish. Flooring throughout, spruce. Trim throughout, white pine. Staircase, yellow pine. Chair rail in kitchen. Interior woodwork stained to suit color and finished with hard oil.

COLORS. Body, all clapboards and veranda ceiling, oak tan. Trim, including water table, corner boards, casing, cornice, bands, window casings and outside doors, fern. Blinds, dark brown. Shutters, dark green. Shingles on gables and side walls oiled. Roof shingles left natural.

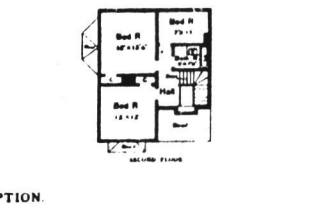
ACCOMMODATIONS. The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house, with stairs and outside entrance. No attic. Bay window in parlor and dining room. A movable screen should be placed in kitchen opposite the hall door, for the purpose of keeping culinary work from public view.

EXTERIOR MATERIALS. Foundation, piers: first story, clapboards; second story, gables, dormers and roof, shingles.

INTERIOR FINISH. Hard white plaster. Both wood flooring and trim ash. Staircase interior wood-work stained to suit color and finished in hard oil.

COLORS. Body, all clapboards, bell trim, cornice, etc., white. Outside doors, dark green. Shutters, white. Veranda floor, light brown. Veranda ceiling, oiled. Wall shingles dipped and brush coated terra stain. Roof shingles left natural.

ACCOMMODATIONS. The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house. Last floor for



COST. \$1,400, not including heater and range. The estimate is based on New York prices for labor and materials.

Price of working plans (with the following details drawn to larger scale), complete specifications, and "license to build," \$15.00.

Price of 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

DESCRIPTION.

For explanation of all symbols (S) see page 222.

GENERAL DIMENSIONS. Width, 32 ft.; depth, including pantry, 32 ft. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS. Foundation, piers: first story, clapboards; second story, gables, dormers and roof, shingles.

INTERIOR FINISH. Hard white plaster. Both wood flooring and trim ash. Staircase interior wood-work stained to suit color and finished in hard oil.

COLORS. Body, all clapboards, bell trim, cornice, etc., white. Outside doors, dark green. Shutters, white. Veranda floor, light brown. Veranda ceiling, oiled. Wall shingles dipped and brush coated terra stain. Roof shingles left natural.

ACCOMMODATIONS. The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house. Last floor for

storage. Stairway runs and wash in kitchen. Bath-room has full plumbing. Pantry (extension between dining room and kitchen, 8' square) suited to Colonial style.

COST. \$1,200, not including materials, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

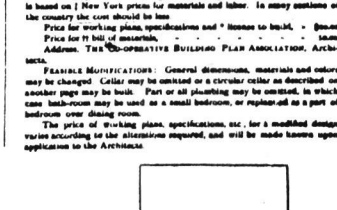
Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be omitted or a circular cellar as described on another page may be built. Part or all of plumbing may be omitted, in which case bath-room may be used as a small bedroom, or replaced as a part of bedroom over dining room.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

Price for working plans, specifications and "license to build," \$15.00.

Price for 11 bill of materials.

FEASIBLE MODIFICATIONS. General dimensions, materials and colors may be changed. Cellar may be decreased in size or be wholly omitted. Laundry could be arranged in cellar. The rear wall of hall may be moved back, giving a direct entrance from hall to dining room, this would decrease the size of kitchen to 11' 6" x 11' 6", and provide a large pantry under main stairs. Double doors may be placed between hall and parlor, and between parlor and dining room, by moving chimney to the outside wall. A kitchen extension may be built back of the dining room, the present kitchen being used as bedroom or library. Open fireplace may be placed in parlor, dining room and two principal bedrooms.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

SHOPPELL'S MODERN HOUSES. Fifty Favorites—Continued.

Cottage, Design No. 774 Shoppell's Modern Houses.

Cottage, Design No. 725

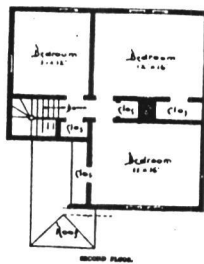
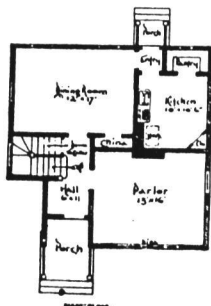


PERSPECTIVE.
DESCRIPTION.

GENERAL DIMENSIONS: Extreme width, 28 ft. 6 in.; depth, 24 ft. 6 in., not including porch. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft.
EXTERIOR MATERIALS: Foundation, brick; first story, clapboards; second story and roof, shingles.
INTERIOR FINISH: Hard white plaster for ceilings; side walls plastered for papering. Flooring, trim and stairs, soft wood; all finished in hard oil.
COLORS: Clapboards, lattice work in front gables, sashes and piazza floor, light brown. Siding below window sills in first story, all trim, and doors, dark brown. Brickwork, dark red. Wall shingles clipped in bold state and brush coated. Roof shingles left natural.
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under dining room and hall.

COST: \$1,416, not including mantel in the parlor. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
PRICE FOR WORKING PLANS, SPECIFICATIONS AND * LICENSE TO BUILD: \$15.00
ADDRESS: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBLE MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may be extended under whole house or be omitted entirely. Porch may be extended across front.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



Shoppell's Modern Houses.

Cottage, Design No. 787

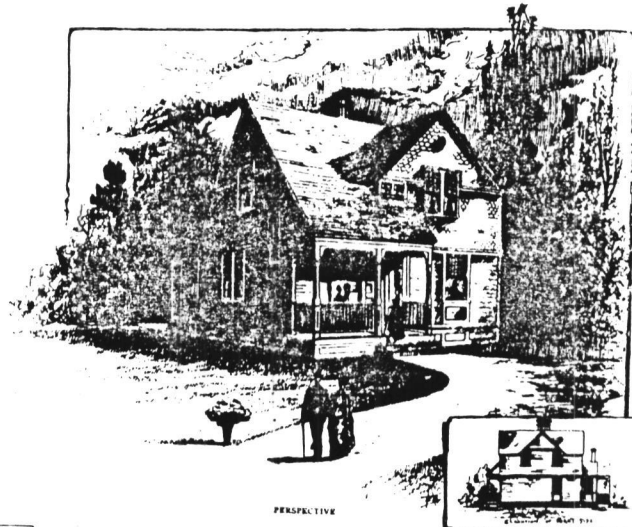
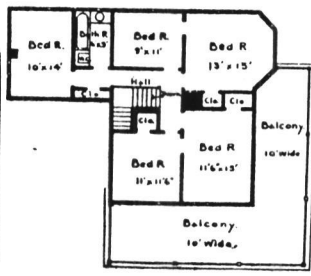
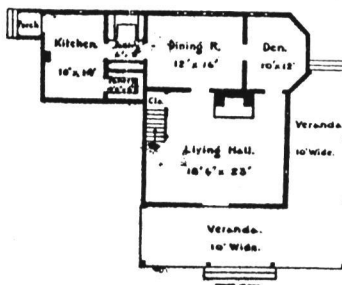


PERSPECTIVE.
DESCRIPTION.

GENERAL DIMENSIONS: Width, including veranda and porch, 35 ft.; depth, including veranda, 24 ft. 6 in. Heights of stories: First story, 9 ft.; second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, posts or piers; first story, clapboards; second story, gables, dormers and roof, shingles.
INTERIOR FINISH: No plaster, but woodens partitions for papering. Red wood flooring, trim and stairs. Interior wood-work stained to suit owner and varnished.
COLORS: Clapboards and outside blinds, Colonial yellow. Trim, veranda posts, rail, balusters, etc., white. Sashes, red. Veranda floor and ceiling, oiled. Balcony floor, gray. All shingles left natural color.
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. No cellar. Loft floored for light storage. House designed for summer occupancy. Bath-room is indicated where plumbing may be introduced at any time. Open fireplace in living hall. Staircase veranda and balcony. Large pantry between kitchen and dining room, shutting off odors. Line of running room off living hall.

COST: \$1,854, not including plumbing, mantel, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
PRICE FOR WORKING PLANS, SPECIFICATIONS AND * LICENSE TO BUILD: \$15.00
ADDRESS: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be placed under part or whole of house, or a circular cellar as described on another page may be built. Bath-room may be used as a small bedroom or it may be built. Bath-room the two adjoining bedrooms. Kitchen extension may be entirely omitted and a new kitchen and dining room planned where present dining room and den are. Size of veranda and balcony may be reduced or extended. Balcony may be entirely omitted, simply rolling the veranda.



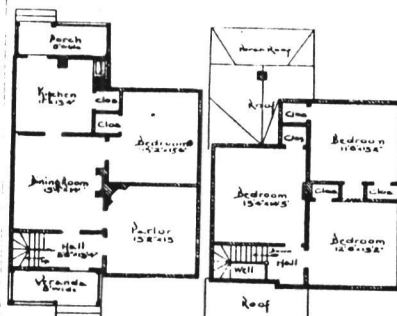
PERSPECTIVE



DESCRIPTION.

GENERAL DIMENSIONS: Width, 28 ft.; depth, 24 ft. 6 in. Heights of stories: First story, 9 ft.; second story, 8 ft.
EXTERIOR MATERIALS: Foundation, posts or piers; first story, clapboards; second story, gables and roof, shingles.
INTERIOR FINISH: Hard white plaster. First story and stairs, soft wood finished in hard oil.
COLORS: Clapboards, panels of outside door and sashes, light brown. Trim, blinds, framing for outside door, outside door, veranda railing and rain water spout, dark brown. Veranda floor, oiled. Wall along veranda and brush coated sassa stain. Roof shingles, natural color.
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Porch is 8 ft. 6 in. wide, but space over second story is 10 ft. 6 in. wide, and is reached by a trap door. Fireplaces with mantels in dining room and parlor included in estimate. Bath-room is shown in one of the fireplaces will warm upper story.
COST: \$1,416. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
PRICE FOR WORKING PLANS, SPECIFICATIONS AND * LICENSE TO BUILD: \$15.00
ADDRESS: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

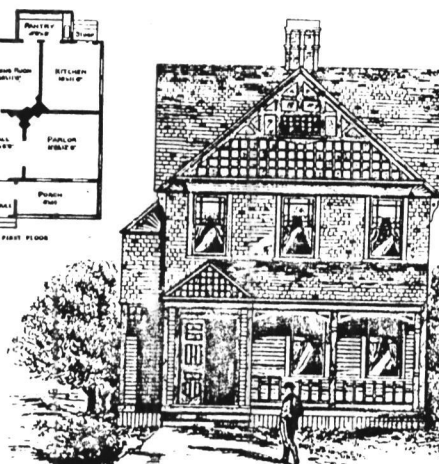
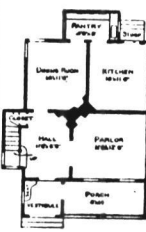
FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, colors and kinds of materials may be changed. Cellar, with stone or brick walls, may be built under a portion or whole of house. Bath-room with full or partial plumbing may be planned. Fireplaces with mantels may be omitted, or number reduced. Heating apparatus be used one chimney less would answer. Bath-room may be connected with parlor and used as a library. Porch to give direct access to rear bedroom may be planned.



PRICE FOR WORKING PLANS, SPECIFICATIONS AND * LICENSE TO BUILD: \$15.00
ADDRESS: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

Shoppell's Modern Houses.

Cottage, Design No. 725



FRONT ELEVATION

DESCRIPTION.

GENERAL DIMENSIONS: Width, 28 ft. 6 in.; depth, including veranda and porch, 35 ft. 6 in. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, posts or piers; first story, clapboards; second story, gables and roof, shingles.
INTERIOR FINISH: Hard white plaster. Soft wood flooring and trim. Yellow pine stairs. Interior wood work stained to suit owner and finished in hard oil.
COLORS: All clapboards, outside doors, sashes, veranda floor and ceiling, brown stone color. Trim, water table, corner boards, casing, cornice, etc., light drab. Outside blinds and rain conductors, light brown. Brickwork, Pompeian red. Wall shingles dipped and brush coated brown stone paint. Gable panels, light brown, with light drab framing. Roof shingles dipped and brush coated stone color.
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house. Attic floored but unfinished; space for two rooms and storage. Open fireplace in parlor, hall and dining room. Pantry connection between dining room and kitchen. Sink to pantry. Central chimney connects from fire room and hall.

COST: \$1,484, not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
PRICE FOR WORKING PLANS, SPECIFICATIONS AND * LICENSE TO BUILD: \$15.00
ADDRESS: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be omitted or extended as described on another page may be built. A full or partial or full plumbing may be introduced at any time. Bath-room may be planned in second story and in first story, in attic, thus avoiding the sacrifice of second story. Vestibule on the front porch may be added. Porch may be extended or reduced. Kitchen may be connected with parlor, and a new kitchen plan may be planned.

SHOPELL'S MODERN HOUSES. Fifty Favorites—Continued.

Shoppell's Modern Houses

Cottage, Design No. 733

Shoppell's Modern Houses

Cottage, Design No. 705



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (p. 10) see page 105.

GENERAL DIMENSIONS: Width, 33 ft.; depth, 45 ft. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft.

EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and dormers, shingles; roofs, metal shingles.

INTERIOR FINISH: Two coats of plaster tinted to suit owner. Floor-boards in first story, maple, with diagonal under floor of hemlock covered with tanned paper. Second story flooring, white pine. Interior trim, white pine. Stairs, oak. Chair rail in kitchen. Interior wood-work finished in hard oil.

COLORS: All clapboards and body of panels in pediment, light brown. All trim and sills and rails of panels in pediment, mahogany. Outside doors, sashes, and rain conductors, olive. Veranda floor, tan. Veranda ceiling, Tuscan yellow. All shingles dipped and brushed coated with slate-colored stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under kitchen only, remainder of house on plans. Loft over second story floored for storage. Fireplaces and mantels in dining room and reception hall included in estimate. Large veranda. Quaint and attractive design. Cost, \$1,100, not including heater and range. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and * license to build, \$25.00.

Price for full bill of materials, \$5.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, materials and colors may be changed. Cellar may be enlarged. Fireplaces and mantels may be omitted. One chimney will serve if heating apparatus be used. Staircase hall may be partitioned from the reception hall, and the stairway re-arranged. Bath-room may be introduced in second story. Veranda may be extended.

Shoppell's Modern Houses.

Cottage, Design No. 732 Shoppell's Modern Houses



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (p. 10) see page 105.

GENERAL DIMENSIONS: Width, 33 ft.; depth, 45 ft. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft.

EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and dormers, shingles; roofs, metal shingles.

INTERIOR FINISH: Two coats of plaster tinted to suit owner. Floor-boards in first story, maple, with diagonal under floor of hemlock covered with tanned paper. Second story flooring, white pine. Interior trim, white pine. Stairs, oak. Chair rail in kitchen. Interior wood-work finished in hard oil.

COLORS: All clapboards and body of panels in pediment, light brown. All trim and sills and rails of panels in pediment, mahogany. Outside doors, sashes, and rain conductors, olive. Veranda floor, tan. Veranda ceiling, Tuscan yellow. All shingles dipped and brushed coated with slate-colored stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house with inside and outside entrance thereto. Attic floored, but unfinished, space for two or three rooms. Open fireplaces in parlor, library and dining room. Broad veranda at front. Large kitchen pantry. Large linen closet in second story. Full height to second story, notwithstanding long sloping roof.

COST: \$1,000, not including heater and range. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and * license to build, \$25.00.

Price for full bill of materials, \$5.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, materials and colors may be changed. Cellar may be enlarged. Fireplaces and mantels may be omitted. One chimney will serve if heating apparatus be used. Staircase hall may be partitioned from the reception hall, and the stairway re-arranged. Bath-room may be introduced in second story. Veranda may be extended.

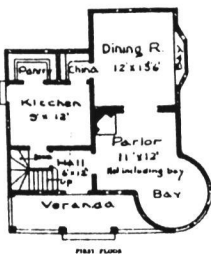
Shoppell's Modern Houses.

Cottage, Design No. 946

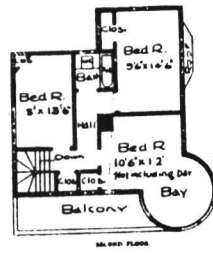
Shoppell's Modern Houses.



PERSPECTIVE



FIRST FLOOR



SECOND FLOOR

DESCRIPTION.

For explanation of all symbols (p. 10) see page 105.

GENERAL DIMENSIONS: Width, including circular bay, 30 ft.; depth, including veranda, 33 ft. 6 in. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundation, stone walls and piers. Stone finish on including roof and veranda, shingles.

INTERIOR FINISH: Hard white plaster. Soft wood flooring, trim and staircase; all finished with hard oil stained to suit owner. Colors: All wall shingles dipped and brushed coated light moss green stain. Cornices, outside trim, etc., dark red. Sashes, dark green. Outside doors finished with hard oil natural color. Roof shingles dipped and brushed coated red stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under kitchen and hall. Attic floored for storage. Sliding doors connect parlor and dining room. Open fireplace in parlor.

COST: \$1,100, not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and * license to build, \$25.00.

Price for full bill of materials, \$5.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: Heights of stories, general dimensions, materials and colors may be changed. Veranda may be extended. Cellar may be enlarged or omitted. Part or all of plumbing may be omitted. Dining room bay may be omitted. Parlor bay may be made polygonal instead of circular; this would reduce cost about \$15.00. Balcony may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (p. 10) see page 105.

GENERAL DIMENSIONS: Width, through dining room and pantry 34 ft. 6 in.; depth, including veranda, 45 ft. Heights of stories: Cellar, 8 ft. 6 in.; first story, 9 ft.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundation, stone. First and second stories, shingles. Job over veranda, gables, side walls of bay-window and roof, shingles.

INTERIOR FINISH: Hard white plaster throughout. Soft wood flooring, trim and stairs. Chair rail in kitchen and dining room. All interior trim finished with hard oil.

COLORS: Clapboards, mahogany. Trim, outside doors and conductors, dark green. Blinds and sashes, dark red. Porch floors and ceilings, olive. Shingles on side walls, gables and roofs, stained dark red.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under the whole house, accessible from pantry. Space for storage in attic. Open fireplace in dining room and parlor. Sliding doors between dining room and parlor. In addition to the large linen closet in dining room and parlor, there is a closet for each bedroom. Bath in kitchen.

COST: \$1,000, not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and * license to build, \$25.00.

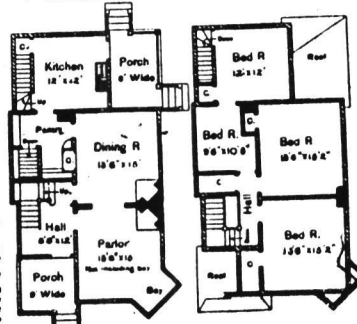
Price for full bill of materials, \$5.00.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. The cellar may be reduced in size or wholly omitted. The small bedroom in second story may be used as a bath-room. Fireplaces may be built in the two large bedrooms, or all fireplaces may be omitted. Sliding doors may be introduced between hall and parlor. The front

porch may be increased in size. The space under the main stairs, first story, may be utilized as a closet. The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, New York.



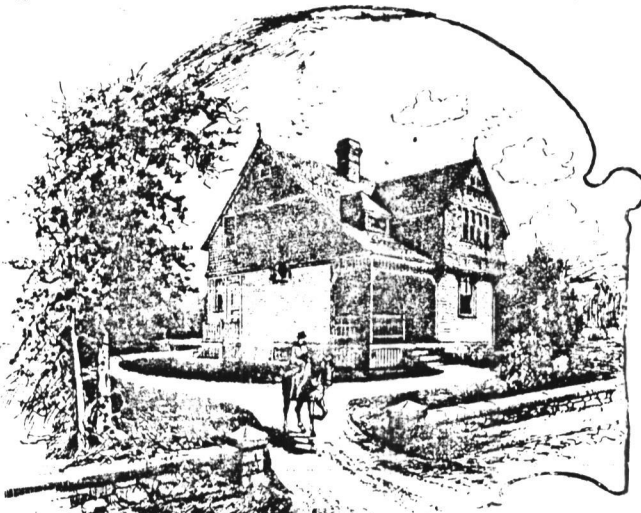
FIRST FLOOR

SECOND FLOOR

Shoppell's Modern Houses.

Cottage, Design No. 434 Shoppell's Modern Houses

Residence, Design No. 675



DESCRIPTION.

For explanation of all symbols (S) see page 225.

GENERAL DIMENSIONS: Width, 27 ft. 6 in.; depth, 30 ft. 6 in. Height of stories: Cellar, 8 ft. 6 in.; first story, 8 ft. 6 in.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundations, stone; first story, clapboards; second story, gables, dormers and roof, shingles. Outside blinds to all windows except those of the cellar and attic.

INTERIOR FINISH: Hard white plaster. Soft wood flooring and trim. Hard wood stairs (mah). Kitchen wainscoted. Interior wood-work finished to hard oil.

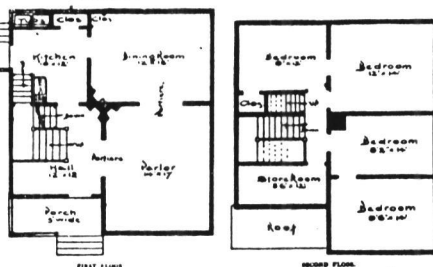
COLORS: Clapboards and veranda floor, dark olive drab. Trim, and rainwater conductors, brown green. Outside doors and blinds, dark green. Sashes, bright red. Veranda ceiling, varnished. Wall shingles dipped in oil. Roof shingles left natural color.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar under whole house with inside and outside entrances. Attic floored for storage; space for small room, if desired. Comb. nation front and back stairways economize space. Open fireplace with mantels in hall, parlor and dining room are included in estimate.

Cost: \$8,500 (not including range and heater). The estimate is based on New York prices for materials and labor.

Price for working plans, specifications and license to build: \$200.00

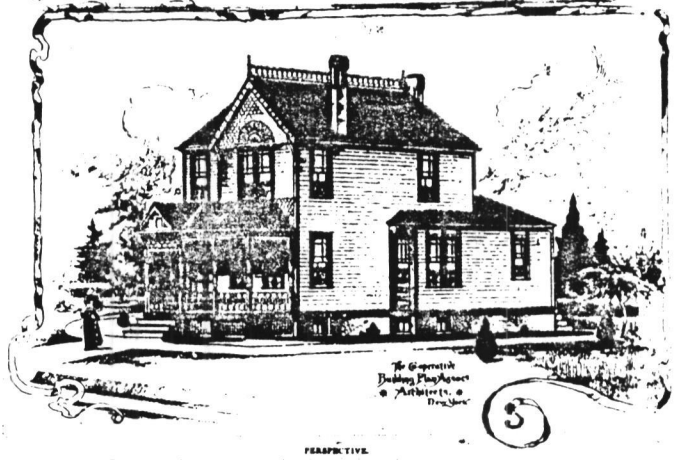
Price for full set of materials: \$5,000



FIRST FLOOR

SECOND FLOOR

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, kinds of materials and colors may be changed. Fireplaces and mantels may be reduced in number or omitted altogether. The three bedrooms over parlor and dining room may be arranged to form two large bedrooms with ample closets.



DESCRIPTION.

For explanation of all symbols (S) see page 225.

GENERAL DIMENSIONS: Width, through living and bedrooms, 31 ft. 8 in.; depth, including veranda, 35 ft. 6 in. Height of stories: Cellar, 7 ft.; first story, 10 ft.; second story, 9 ft.

EXTERIOR MATERIALS: Foundations, brick; first and second stories, clapboards; roof, shingles. Outside blinds to all windows except those of the cellar.

INTERIOR FINISH: Plaster for papering. Trim, stairway and flooring, white pine. Kitchen wainscoted. All interior wood-work finished in hard oil.

COLORS: Clapboards, pale buff. Trim, outside doors, blinds, and rain conductors, dark green. Sashes, body of panels in gable, Tuscan yellow. Veranda floor, brown. Veranda ceiling, oiled framing for gable panels, buff. All shingles dipped and brush coated dark red stain.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar under main part of house. All plumbing concentrated in or near kitchen. No fireplace, but mantels in parlor and living room. Attic unfinished, but floored for storage. Sliding doors connect principal rooms and hall of first story.

Cost: \$12,500 (not including heater and range). The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

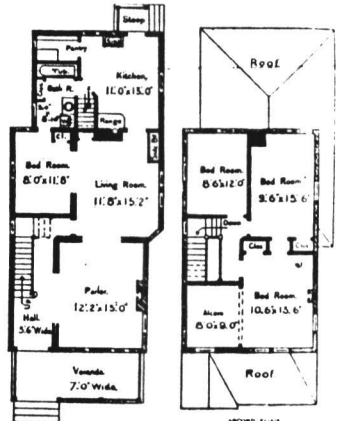
Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, materials and colors may be changed. Cellar may be reduced or enlarged. Sliding doors and a part or all of the plumbing may be omitted. If heating apparatus be used frost chimneys may be omitted. Kitchen extension may be made two stories.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



FIRST FLOOR

SECOND FLOOR

Shoppell's Modern Houses.

Residence, Design No. 675

Shoppell's Modern Houses.

Cottage, Design No. 434



DESCRIPTION.

For explanation of all symbols (S) see page 225.

GENERAL DIMENSIONS: Width, through dining-room and kitchen, 30 ft. 6 in.; depth, including veranda and porch, 32 ft. 6 in. Height of stories: Cellar, 7 ft. 6 in.; first story, 9 ft. 6 in.; second story, 9 ft. 6 in.; attic, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundations, stone; first and second stories, clapboards; gables, panels and shutters, wood shingles.

INTERIOR FINISH: Hard white plaster, plaster cornices and ceilings in parlor, dining-room and hall. White pine flooring throughout first and second stories except in kitchen, where yellow pine is used. Spruce flooring in attic. First story to have double floor with paper between. Trim throughout, white pine. Staircase, mah. Panels under windows in parlor and dining-room. Wainscot in kitchen. Interior wood-work finished in hard oil.

COLORS: All clapboards of first story, and trim. Clapboards of second story and all shutters, bright red. Trim, outside doors, blinds, and rain conductors, olive. Veranda floor, light brown. Veranda ceiling, oiled. Panels in gables, light brown with olive framing. Gable shingles, oiled.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under whole house with inside and outside entrances. Attic floored for storage; space for small room, if desired. Comb. nation front and back stairways economize space. Open fireplace with mantels in hall, parlor and dining room are included in estimate.

Cost: \$12,500 (not including range and heater). The estimate is based on New York prices for materials and labor.

Price for working plans, specifications and license to build: \$200.00

Price for full set of materials: \$5,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of stories, sizes of rooms, colors and kinds of materials may be changed. Bath-room with partial or full plumbing may be introduced in second story or attic. Open fireplace, sliding doors, stationary wood-work and heater, and any or all of attic rooms may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000



DESCRIPTION.

For explanation of all symbols (S) see page 225.

GENERAL DIMENSIONS: Width, including veranda, 33 ft. 6 in.; depth, including veranda, 35 ft. 6 in. Height of stories: Cellar, 7 ft.; first story, 9 ft.; second story, 8 ft. 6 in.

EXTERIOR MATERIALS: Foundations, part of first story front, also veranda balustrade, rock faced stone work; first story, clapboards; second story, dormers, gables and roof, shingles.

INTERIOR FINISH: Plastered for papering. Soft wood flooring, trim and stairs. Interior wood-work stained to suit owner and finished with hard oil.

COLORS: All clapboards and outside blinds, light drab. Trim, moldings, cornices, water tables, etc., dark drab. All wall shingles dipped and brush coated silver gray stain. Roof shingles dipped and brush coated red stain. Sashes, painted red. Veranda and porch floors and ceilings oiled.

ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under kitchen and hall. Bath room shows how plumbing may be introduced if desired. The stone work of veranda and first story adds much to the elegance of the design.

Cost: \$12,500 (not including mantel, range, heater and plumbing). The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.

FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellar may be extended under whole house or be entirely omitted. If plumbing be not introduced, the space of bath-room may be enlarged to the rear bedroom. The back of dining room may be planned as a closet or storage room. Fireplace and sliding doors may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Price for working plans, specifications and license to build: \$150.00

Price for full set of materials: \$10,000

SHOPPELL'S MODERN HOUSES. Fifty Favorites—Continued.

Shoppell's Modern Houses.

Residence, Design No. 218

Shoppell's Modern Houses

Design No. 438



DESCRIPTION.

For explanation of all symbols (P. 1 and 2) see page 10.

GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth, including veranda, 48 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft. 9 in.; attic, 8 ft. 6 in.

INTERIOR MATERIALS: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles; walls, plaster and shingles. Outside blinds to all windows except those of the cellar.

LIVINGS: Parlor: Hard white plaster; plaster cornice to half parlor and dining room. Soft wood floor and brick. Ash staircases. Parlor under hall and dining room windows. Bath-room entrance. Interior wood-work finished to hard oak.

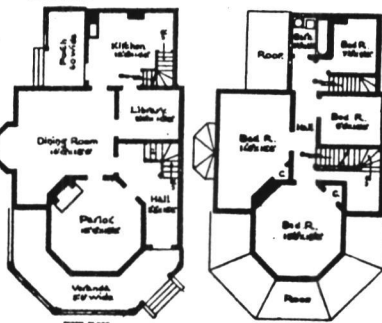
Colors: Clapboards, blinds and trim, brown; green. Trim, outside doors, veranda floor, and iron casement, and brown. Veranda ceiling, chrome yellow. Black-outlet, ladder and roof. Wall shingles dipped and brush coated stone gray. Roof shingles dipped and brush coated leaded red slate.

Accessories: The principal rooms and their sizes, shown, etc., are shown by the plan. Cellar under kitchen. Tower room finished to attic. This room makes a pleasant study or reading room. They window to dining room. Bath room, bath-room and servant's bedroom over kitchen. Porch and one hard wood stair finished to outside.

Cost: \$10,000. Not including range and heater. The estimate is based on New York prices for materials and labor in any quantity of the country the cost should be low.

Price for working plans, specifications and 10 copies of book: \$10.00
Price for 10 copies of book: \$10.00
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 110 West 40th Street, New York City.

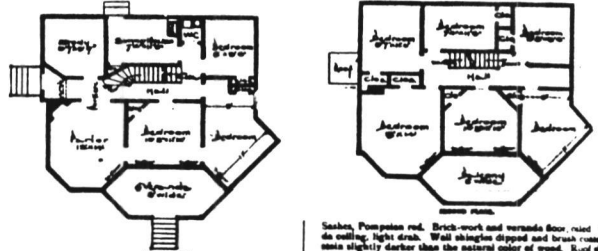
PERSPECTIVE.



PLANES: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles; walls, plaster and shingles. Outside blinds to all windows except those of the cellar.



PERSPECTIVE.



DESCRIPTION.

For explanation of all symbols (P. 1 and 2) see page 10.

GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth, including veranda, 48 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft. 9 in.; attic, 8 ft. 6 in.

INTERIOR MATERIALS: Foundations, stone walls and brick pier; first story, clapboards; second story, gables and roof, shingles.

LIVINGS: Parlor: Hard white plaster; plaster cornice to parlor and hall. Soft wood flooring and trim. Second story floor finished to hard oak. Bath room, bath-room and servant's bedroom over kitchen. Porch and one hard wood stair finished to outside.

Colors: Clapboards and panels of outside door, ash. Trim, finishing of panels of outside door, and iron casement, dark green.

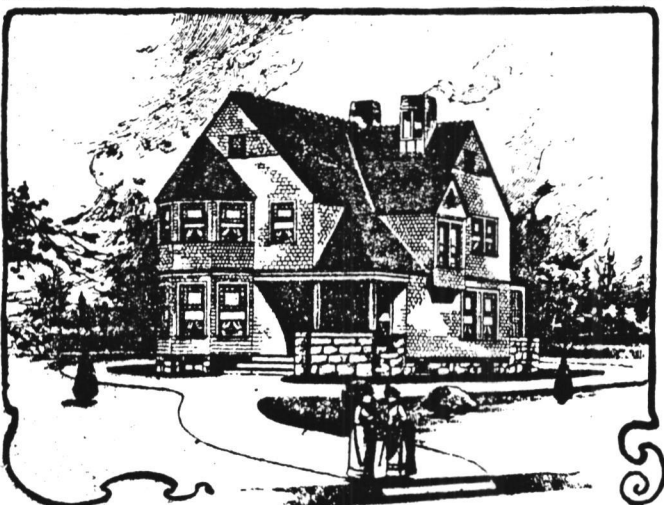
Accessories: The principal rooms and their sizes, shown, etc., are shown by the plan. Cellar under the parlor. Draped for window near a hotel where made are supplied; the small here as to serve in case of emergency. Fireplace with mantel in parlor included in estimate. Water-closet, sink and wash-basin in first story; no other plumbing. Attic finished, but undetailed, open to the rooms.

Cost: \$10,000. The estimate is based on New York prices for materials and labor in any quantity of the country the cost should be low.

Price for working plans, specifications and 10 copies of book: \$10.00
Price for 10 copies of book: \$10.00
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 110 West 40th Street, New York City.

Shoppell's Modern Houses.

Residence, Design No. 578



DESCRIPTION.

For explanation of all symbols (P. 1 and 2) see page 10.

GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth, including veranda, 48 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft. 9 in.; attic, 8 ft. 6 in.

INTERIOR MATERIALS: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles. Outside blinds to all windows except those of the cellar.

LIVINGS: Parlor: Hard white plaster; plaster cornice to half parlor and dining room. Soft wood floor and brick. Ash staircases. Parlor under hall and dining room windows. Bath-room entrance. Interior wood-work finished to hard oak.

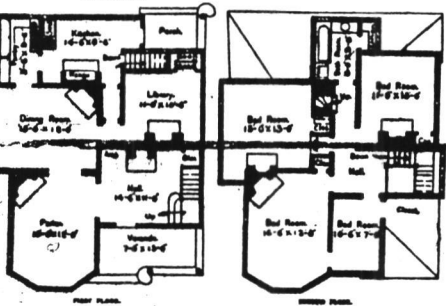
Colors: Clapboards, blinds and trim, brown; green. Trim, outside doors, veranda floor, and iron casement, and brown. Veranda ceiling, chrome yellow. Black-outlet, ladder and roof. Wall shingles dipped and brush coated stone gray. Roof shingles dipped and brush coated leaded red slate.

Accessories: The principal rooms and their sizes, shown, etc., are shown by the plan. Cellar under kitchen. Tower room finished to attic. This room makes a pleasant study or reading room. They window to dining room. Bath room, bath-room and servant's bedroom over kitchen. Porch and one hard wood stair finished to outside.

Cost: \$10,000. Not including range and heater. The estimate is based on New York prices for materials and labor in any quantity of the country the cost should be low.

Price for working plans, specifications and 10 copies of book: \$10.00
Price for 10 copies of book: \$10.00
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 110 West 40th Street, New York City.

PERSPECTIVE.



PLANES: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles; walls, plaster and shingles. Outside blinds to all windows except those of the cellar.

Shoppell's Modern Houses.

Residence, Design No. 591



DESCRIPTION.

For explanation of all symbols (P. 1 and 2) see page 10.

GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth, including veranda, 48 ft. 6 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 9 ft. 6 in.; second story, 8 ft. 9 in.; attic, 8 ft. 6 in.

INTERIOR MATERIALS: Foundations, stone walls and brick pier; first story, clapboards; second story, gables and roof, shingles.

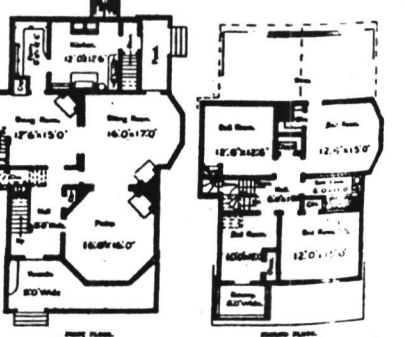
LIVINGS: Parlor: Hard white plaster; plaster cornice to parlor and hall. Soft wood flooring and trim. Second story floor finished to hard oak. Bath room, bath-room and servant's bedroom over kitchen. Porch and one hard wood stair finished to outside.

Colors: Clapboards and panels of outside door, ash. Trim, finishing of panels of outside door, and iron casement, dark green.

Accessories: The principal rooms and their sizes, shown, etc., are shown by the plan. Cellar under the parlor. Draped for window near a hotel where made are supplied; the small here as to serve in case of emergency. Fireplace with mantel in parlor included in estimate. Water-closet, sink and wash-basin in first story; no other plumbing. Attic finished, but undetailed, open to the rooms.

Cost: \$10,000. The estimate is based on New York prices for materials and labor in any quantity of the country the cost should be low.

Price for working plans, specifications and 10 copies of book: \$10.00
Price for 10 copies of book: \$10.00
Address: THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects, 110 West 40th Street, New York City.



PLANES: Foundations, stone and brick; first story, clapboards; second story, gables and roof, shingles; walls, plaster and shingles. Outside blinds to all windows except those of the cellar.

SHOPELL'S MODERN HOUSES. Fifty Favorites Continued.

Shoppell's Modern Houses

Residence, Design No. 412



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (Fig. 1) see page 225.
GENERAL DIMENSIONS: Extreme width, 30 ft. 6 in.; depth, including veranda and porch, 34 ft. 2 in. Heights of stories: Cellar, 7 ft.; first story, 8 ft. 6 in.; second story, 8 ft. 6 in.; attic, 7 ft.

EXTENSION MATERIALS: Foundations, stone and brick; first story, clapboards; second story, tower and roof, shingles; gables, panels, fan work and shingles. Outside blinds.

INTERIOR FINISH: Hard white plaster; plaster corners and centers in parlor, dining room, library and hall. Soft wood flooring and trim throughout. Ash staircases. Stained glass in parlor, dining room and library. Kitchen and bath room wainscoted. Wood work finished in hard oil.

COOKS: Clapboards, dark olive drab. Trim and casework, light olive green. Outside doors, brown green. Veranda ceiling, light gray. Wall shingles dipped and brush coated with reddish stain. Roof shingles dipped and brush coated with reddish stain.

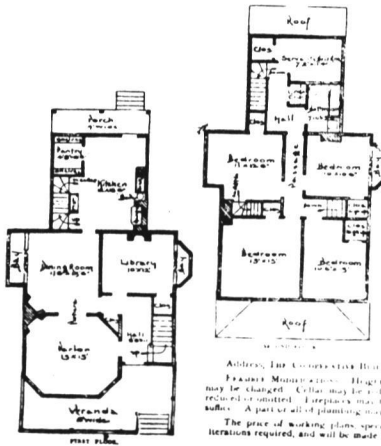
ACCOMMODATIONS: The principal rooms and their sizes, shown by the plans. Cellar under main house with inside and outside entrances and concrete floor. Two bedrooms finished in attic. Open fireplace with hard wood mantels in parlor, library and dining room, also in living range, included in estimate.

NOTE: Estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and 15 minutes' talking, \$10.00.

Address, The Co-operative Building, Plan Association, Architects.

FRANK'S MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may be a storage room and concrete floor omitted. Attic finish may be reduced or omitted. Fireplaces may be omitted. If heating apparatus is used, fan chimney will suffice. A part of all plumbing may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



PERSPECTIVE



DESCRIPTION.

For explanation of all symbols (Fig. 1) see page 225.
GENERAL DIMENSIONS: Width, 30 ft. 6 in.; depth, including veranda, 34 ft. 2 in. Heights of stories: Cellar, 7 ft.; first story, 8 ft. 6 in.; second story, 8 ft. 6 in.; attic, 7 ft.

EXTENSION MATERIALS: Foundations, stone and brick; first story, clapboards; second story, tower and roof, shingles; gables, panels, fan work and shingles. Outside blinds.

INTERIOR FINISH: Hard white plaster; plaster corners and centers in parlor, dining room, library and hall. Soft wood flooring and trim throughout. Ash staircases. Stained glass in parlor, dining room and library. Kitchen and bath room wainscoted. Wood work finished in hard oil.

COOKS: Clapboards and wainscoting, from dark green, outside doors, dark green, light olive panels. Outside trim, casework and trim, Pompeian red. Veranda roof and ceiling, drab. Chimneys of red smocking, medium drab. Panels on sides of brackets and over bay windows.

Clapboards and wainscoting, from dark green, outside doors, dark green, light olive panels. Outside trim, casework and trim, Pompeian red. Veranda roof and ceiling, drab. Chimneys of red smocking, medium drab. Panels on sides of brackets and over bay windows.

Price for working plans, specifications and 15 minutes' talking, \$10.00.

Address, The Co-operative Building, Plan Association, Architects.

FRANK'S MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may be a storage room and concrete floor omitted. Attic finish may be reduced or omitted. Fireplaces may be omitted. If heating apparatus is used, fan chimney will suffice. A part of all plumbing may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Shoppell's Modern Houses

Residence, Design No. 412

Shoppell's Modern Houses

Residence



PERSPECTIVE

DESCRIPTION.

For explanation of all symbols (Fig. 1) see page 225.
GENERAL DIMENSIONS: Width, 33 ft. 6 in.; depth, including veranda, 34 ft. 2 in. Heights of stories: Cellar, 6 ft. 6 in.; first story, 8 ft. 6 in.; second story, 8 ft. 6 in.; attic, 7 ft.

EXTENSION MATERIALS: Foundations, stone and brick; first story, clay; second story, shingles; gables, panels, fan work and shingles. Outside blinds.

INTERIOR FINISH: Hard white plaster; plaster corners and centers in parlor, dining room, library and hall. Soft wood flooring and trim throughout. Ash staircases. Stained glass in parlor, dining room and library. Kitchen and bath room wainscoted. Wood work finished in hard oil.

COOKS: Clapboards, dark olive drab. Trim and casework, light olive green. Outside doors, brown green. Veranda ceiling, light gray. Wall shingles dipped and brush coated with reddish stain. Roof shingles dipped and brush coated with reddish stain.

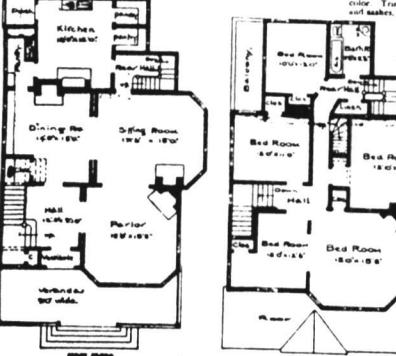
ACCOMMODATIONS: The principal rooms and their sizes, shown by the plans. Cellar under main house with inside and outside entrances and concrete floor. Two bedrooms finished in attic. Open fireplace with hard wood mantels in parlor, library and dining room, also in living range, included in estimate.

NOTE: Estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less. Price for working plans, specifications and 15 minutes' talking, \$10.00.

Address, The Co-operative Building, Plan Association, Architects.

FRANK'S MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may be a storage room and concrete floor omitted. Attic finish may be reduced or omitted. Fireplaces may be omitted. If heating apparatus is used, fan chimney will suffice. A part of all plumbing may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



DESCRIPTION.

For explanation of all symbols (Fig. 1) see page 225.
GENERAL DIMENSIONS: Width, including porch, 30 ft. 6 in.; depth, including veranda, 34 ft. 2 in. Heights of stories: Cellar, 7 ft.; first story, 8 ft. 6 in.; second story, 8 ft. 6 in.; attic, 7 ft.

EXTENSION MATERIALS: Foundations, stone and brick; first story, clapboards; second story, tower and roof, shingles; gables, panels, fan work and shingles. Outside blinds.

INTERIOR FINISH: Hard white plaster; plaster corners and centers in parlor, dining room, library and hall. Soft wood flooring and trim throughout. Ash staircases. Stained glass in parlor, dining room and library. Kitchen and bath room wainscoted. Wood work finished in hard oil.

COOKS: Clapboards and wainscoting, from dark green, outside doors, dark green, light olive panels. Outside trim, casework and trim, Pompeian red. Veranda roof and ceiling, drab. Chimneys of red smocking, medium drab. Panels on sides of brackets and over bay windows.

Price for working plans, specifications and 15 minutes' talking, \$10.00.

Address, The Co-operative Building, Plan Association, Architects.

FRANK'S MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Cellar may be a storage room and concrete floor omitted. Attic finish may be reduced or omitted. Fireplaces may be omitted. If heating apparatus is used, fan chimney will suffice. A part of all plumbing may be omitted.

The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



SHOPPELL'S MODERN HOUSES. Fifty Favorites.—Continued on page 222.

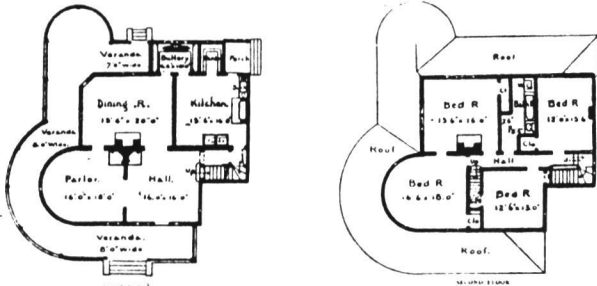
Shoppell's Modern Houses.

Residence, Design No. 647 Shoppell's Modern Houses.

Residence, Design No. 563



PERSPECTIVE



DESCRIPTION.

For explanation of all symbols (p. 1) see page 222.

GENERAL DIMENSIONS. Width, over all, 34 ft.; depth, over all, 55 ft. Heights of stories: Cellar, 7 ft.; first story, 9 ft.; second story, 9 ft. 6 in.; attic, 8 ft.

EXTERIOR MATERIALS. Foundation, brick; walls of both stories, masonry; veranda base, shingles; main and dormer roof, slate; veranda roof, shingles.

INTERIOR FINISH. Hard white plaster throughout, except ceiling, which is rough plastered. Plaster corners and ceiling in hall, parlor and dining room. Floor in first story, hard pine; in second story, with wood. Trim throughout oak wood stained and finished to hard wood. Staircase and front door oak. House papered for gas.

COLORS. All shingles dipped in oil. All trim, also bands and washes, painted ivory white. Outside doors stained in hard oil. Veranda floor and ceiling and all brick work, red.

ACCUMULATIONS. The principal rooms and their sizes, closets, etc., are shown by the plans. Beside these there is a cellar (with concrete floor) under the whole house, and there are two rooms and a hall located in the attic.

ESTIMATE. \$4500, first including materials, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

PRICE FOR WORKING PLANS, SPECIFICATIONS AND LICENSE TO BUILD. \$45.00.
PRICE FOR 11 BILL OF MATERIALS. \$100.00.

ADDRESS, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBILITY MODIFICATIONS. Heights of stories, kinds of materials and colors may be changed. Size of cellar, veranda, width and length of veranda, changed, attic rooms, bath room, and sliding doors omitted. Forms of porches and bed-rooms have changed from circular to polygonal. Any or all of the bed-places may be omitted.

THE PRICE OF WORKING PLANS, SPECIFICATIONS, ETC., FOR A MODIFIED DESIGN VARYING ACCORDING TO THE ALTERATIONS REQUIRED, AND WILL BE MADE KNOWN UPON APPLICATION TO THE ARCHITECTS.



DESCRIPTION.

For explanation of all symbols (p. 1) see page 222.

GENERAL DIMENSIONS. Extremes width, 34 ft. 6 in.; depth, including veranda, 55 ft. 6 in.; heights of stories: Cellar, 7 ft.; first story, 9 ft. 6 in.; second story, 9 ft. 6 in.; attic, 8 ft.

EXTERIOR MATERIALS. Foundation, stone and brick; first and second stories, brick; gables, shingles; roof, slate. Outside blinds, Hard white plaster, plaster corners and ceiling in parlor, hall, sitting and dining rooms. Hard pine flooring in parlor and kitchen. Both wood trim. All materials. Plaster white wash in parlor, hall, sitting and dining room. Wainscot in both rooms and kitchen. Interior wood-work finished in hard oil.

COLORS. Back-work cleaned down with oil and easily painted. Clapboards of kitchen extension, all blinds and rain conductors, and brown. Trim and outside doors, dark green. Shutters, maroon. Veranda base, dark olive drab. Veranda ceiling, light blue. Wall above dormer and house coated terra cotta.

ACCUMULATIONS. The principal rooms and their sizes, closets, etc., are shown by the plans. Cellar with concrete floor under kitchen. Two rooms and hall in attic. Sliding doors between parlor and sitting room. Open fireplace in parlor, sitting, dining and one bedroom. Side porch, entry to sitting room. Water-closet off kitchen porch. Bathroom in second and attic stories.

COST. \$4,175, not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

PRICE FOR WORKING PLANS, SPECIFICATIONS AND LICENSE TO BUILD. \$45.00.
PRICE FOR 11 BILL OF MATERIALS. \$100.00.

ADDRESS, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBILITY MODIFICATIONS. Heights of stories, kinds of materials and colors may be changed. Cellar may be reduced in size. Bathrooms may be changed with sliding doors or may be enclosed to form part of sitting rooms. Sliding doors, shutters and mantels, not range, a part or all of plumbing, and attic finish, may be omitted.

THE PRICE OF WORKING PLANS, SPECIFICATIONS, ETC., FOR A MODIFIED DESIGN VARYING ACCORDING TO THE ALTERATIONS REQUIRED, AND WILL BE MADE KNOWN UPON APPLICATION TO THE ARCHITECTS.

Shoppell's Modern Houses.

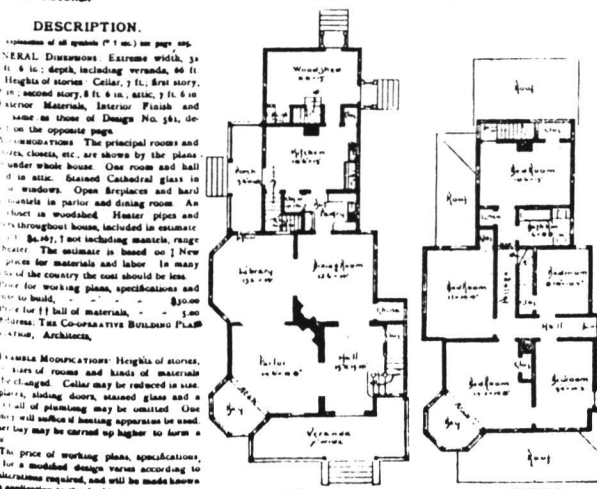
Residence, Design No. 971

Shoppell's Modern Houses.

Residence, Design No. 931



PERSPECTIVE



DESCRIPTION.

GENERAL DIMENSIONS. Extremes width, 34 ft. 6 in.; depth, including veranda, 55 ft. 6 in.; heights of stories: Cellar, 7 ft.; first story, 9 ft. 6 in.; second story, 9 ft. 6 in.; attic, 8 ft. 6 in.

EXTERIOR MATERIALS. Foundation, brick; walls of both stories, masonry; veranda base, shingles; main and dormer roof, slate; veranda roof, shingles.

INTERIOR FINISH. Hard white plaster throughout, except ceiling, which is rough plastered. Plaster corners and ceiling in hall, parlor and dining room. Floor in first story, hard pine; in second story, with wood. Trim throughout oak wood stained and finished to hard wood. Staircase and front door oak. House papered for gas.

COLORS. All shingles dipped in oil. All trim, also bands and washes, painted ivory white. Outside doors stained in hard oil. Veranda floor and ceiling and all brick work, red.

ACCUMULATIONS. The principal rooms and their sizes, closets, etc., are shown by the plans. Beside these there is a cellar (with concrete floor) under the whole house, and there are two rooms and a hall located in the attic.

ESTIMATE. \$4500, first including materials, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

PRICE FOR WORKING PLANS, SPECIFICATIONS AND LICENSE TO BUILD. \$45.00.
PRICE FOR 11 BILL OF MATERIALS. \$100.00.

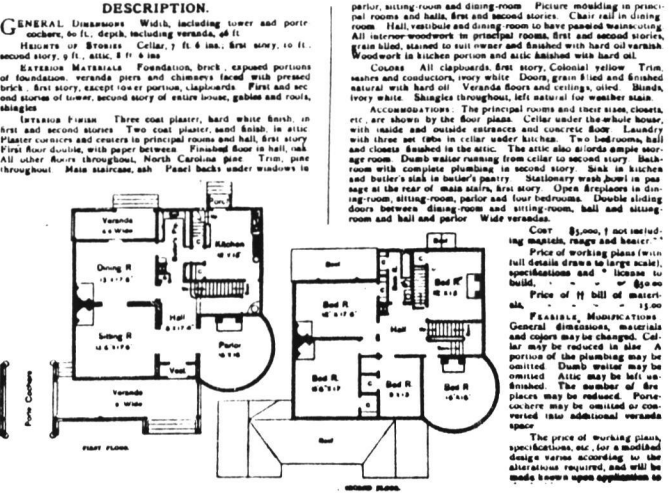
ADDRESS, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBILITY MODIFICATIONS. Heights of stories, kinds of materials and colors may be changed. Size of cellar, veranda, width and length of veranda, changed, attic rooms, bath room, and sliding doors omitted. Forms of porches and bed-rooms have changed from circular to polygonal. Any or all of the bed-places may be omitted.

THE PRICE OF WORKING PLANS, SPECIFICATIONS, ETC., FOR A MODIFIED DESIGN VARYING ACCORDING TO THE ALTERATIONS REQUIRED, AND WILL BE MADE KNOWN UPON APPLICATION TO THE ARCHITECTS.



PERSPECTIVE



DESCRIPTION.

GENERAL DIMENSIONS. Width, including tower and porch, 36 ft.; depth, including veranda, 55 ft. Heights of stories: Cellar, 7 ft. 6 in.; first story, 10 ft.; second story, 9 ft.; attic, 8 ft. 6 in.

EXTERIOR MATERIALS. Foundation, brick; exposed portions of foundation, veranda porch and chimneys faced with pressed brick. First story, except lower portion, clapboards. First and second stories of tower, second story of entire house, gables and roofs, shingles.

INTERIOR FINISH. Three coat plaster, hard white finish in first and second stories. Two coat plaster, sand finish in attic. Plaster corners and ceiling in principal rooms and hall; first story First floor double, with paper between. Finished floor in hall, oak. All other floors throughout, North Carolina pine. Trim, pine throughout. Main staircase, ash. Floor back under windows in parlor, sitting-room and dining-room. Picture moulding in principal rooms and halls, first and second stories. Chair rail in dining room. Hall, vestibule and dining-room to have paneled wainscoting. All interior woodwork in principal rooms, first and second stories, grain siled, stained to suit owner and finished with hard oil varnish. Wood work in kitchen portion and attic finished with hard oil.

COLORS. All clapboards first story, Colonial yellow. Trim, wainscot and conductors, ivory white. Doors, gray fluted and finished natural with hard oil. Veranda floor and ceiling, yellow. Blinds, ivory white. Shingles throughout, left natural for weather stain.

ACCUMULATIONS. The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under the whole house, with made and outside entrances and concrete floor. Laundry with three sets of tubs in cellar under kitchen. To bed-rooms, hall and closets finished in the attic. The attic also affords ample storage room. Dumb waiter running from cellar to second story. Bathroom with complete plumbing in second story. Bath in kitchen and butler's sink in butler's pantry. Stationary wash bowl in passage at the rear of main stairs, first story. Open fireplace in dining-room, sitting-room, parlor and four bedrooms. Double sliding doors between dining-room and sitting-room, hall and sitting-room and hall and parlor. Wide veranda.

COST. \$5,000, not including mantels, range and heater. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.

PRICE FOR WORKING PLANS, SPECIFICATIONS AND LICENSE TO BUILD. \$45.00.
PRICE FOR 11 BILL OF MATERIALS. \$100.00.

ADDRESS, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, ARCHITECTS.

FEASIBILITY MODIFICATIONS. Heights of stories, materials and colors may be changed. Cellar may be reduced in size. A portion of the plumbing may be omitted. Dumb waiter may be omitted. Attic may be left unfinished. The number of fire places may be reduced. Porches may be omitted or converted into additional veranda space.

THE PRICE OF WORKING PLANS, SPECIFICATIONS, ETC., FOR A MODIFIED DESIGN VARYING ACCORDING TO THE ALTERATIONS REQUIRED, AND WILL BE MADE KNOWN UPON APPLICATION TO THE ARCHITECTS.

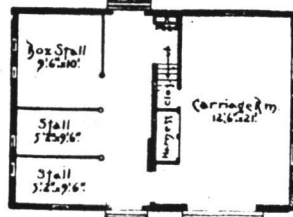
SHOPPELL'S MODERN HOUSES. Fifty Favorites—Continued.

Shoppell's Modern Houses



DESCRIPTION.

For explanation of all symbols (p. 1) and on page 80.
GENERAL DIMENSIONS: Width, 24 ft.; depth, 30 ft. Height of second story, 8 ft. 6 in.; second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and roof, shingles.
INTERIOR FINISH: Soft wood flooring throughout; removable top flooring in main. Soft wood trim and stairway. Hay-chest, built-in cupboards, and wash and toilet, soft wood. Stall, hard wood. Stall posts solid. Remainder of interior wood-work left unfinished.
COLORS: Clapboards, light chocolate. Trim and rail conductor, dark chocolate. Outside doors, maroon, with dark chocolate panels. Shutters, maroon. Wall shingles dipped and brush coated dark red. Roof shingles dipped and brush coated dark red.
ACCOMMODATIONS: Stable, closets, etc., are shown by the plan. Stableman's room partitioned off in second story. Feed bin in



second story. Water-closet to point shown on floor plan, leading door connects stable with carriage room.
COST: \$810. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications and "license to build," \$12.00.
Price for bill of materials, \$100.00.
Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. A roof cellar may be placed under part of building. Stableman's room may be omitted. A ladder to reach attic in place of stairway would enlarge both stable and carriage room. Box stall may be planned in place of two single stalls. The main roof ridge may be continued out to form gables and thus enlarge second story.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

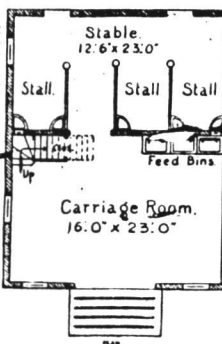
Stable, Design No. 589.

DESCRIPTION.

GENERAL DIMENSIONS: Width, 24 ft.; depth, 30 ft. Height of second story, 8 ft. 6 in.; second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and roof, shingles.
INTERIOR FINISH: Soft wood flooring throughout; removable top flooring in main. Soft wood trim and stairway. Hay-chest, built-in cupboards, and wash and toilet, soft wood. Stall, hard wood. Stall posts solid. Remainder of interior wood-work left unfinished.
COLORS: Clapboards, light brown. Trim dark brown. Outside doors, panels light brown, framing of panels, dark brown. Shutters, Pompeian red. Wall shingles dipped and brush coated vermillion. Roof shingles dipped and brush coated Indian red.
ACCOMMODATIONS: The principal rooms, colors, sizes of rooms and kinds of materials may be changed. A roof cellar may be placed under part of building. Free time may be placed in second story, with proper values leading to first story. Tool room and man's bedroom may be placed in second story. Two of the stalls may be combined to form a large box stall.



Shoppell's Modern Houses



more. Wickets at the heads of stalls through which feed may be passed without entering stalls. Suitable beam and hook in front gable to house bails, etc. to move. Room for three carriages. Ample space to move for storage of sleighs.
COST: \$800. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications and "license to build," \$12.00.
Price for bill of materials, \$100.00.
Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. A roof cellar may be placed under part of building. Free time may be placed in second story, with proper values leading to first story. Tool room and man's bedroom may be placed in second story. Two of the stalls may be combined to form a large box stall.

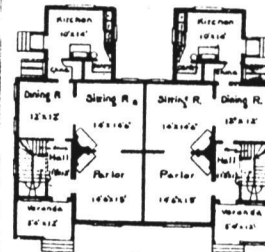
Stable, Design No. 422

Shoppell's Modern Houses

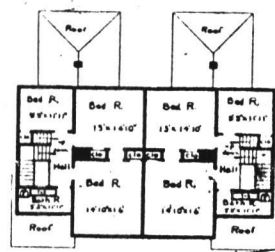


Double Cottage, Design No. 824

PERSPECTIVE



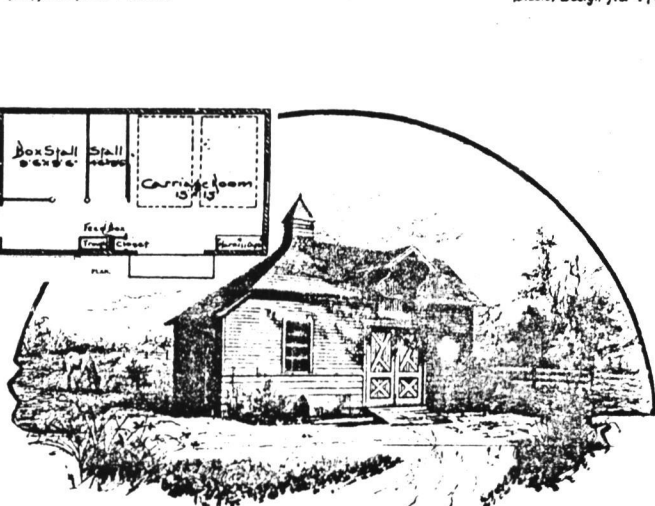
GENERAL DIMENSIONS: Width, 30 ft.; depth, including veranda, 40 ft.; second story, 8 ft.
EXTERIOR MATERIALS: Foundation, stone or brick; first story, brick; second story, shingles, gables, panels and shingles; roof, slate.
INTERIOR FINISH: Hard white plaster. Yellow pine flooring in kitchen and bathroom; soft wood flooring elsewhere. Built-in wood trim. Ash stairway. Interior wood-work finished with hard oil.
COLORS: Brick work cleaned down at completion. Trim, outside doors, shades, rain conductor, and veranda balusters and spindles, light brown. Veranda floor and ceilings, white. Veranda posts and rail, dark brown. Wall shingles dipped and brush coated terra cotta stain. All exterior painting light brown with dark brown trim.
ACCOMMODATIONS: The principal rooms and their sizes, closets, etc., are shown by the floor plans. Cellar under both houses. Attic bound for storage. First story finished with four inches of brick-work securely laced to sheathing and studding. Two fire



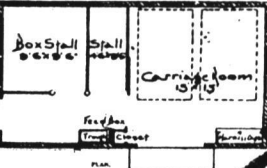
DESCRIPTION.

places in each house with hardwood mantels included in estimate. Water-closets and tubs in bath-rooms. Sinks, boilers and wash tubs in kitchen. Sliding door, general parlors with built-in fire-places between sitting rooms and dining rooms.
COST: \$4,500. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications and "license to build," \$12.00.
Price for bill of materials, \$150.00.
Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: General dimensions, materials and colors may be changed. Cellars may be reduced in size or omitted. Part or all of plumbing, and any or all open fireplaces may be omitted. Sliding doors may be omitted or others introduced. The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

Shoppell's Modern Houses



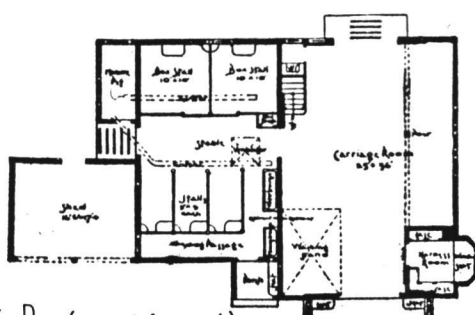
PERSPECTIVE



Water-closet at rear of carriage room. Washing stand at side of carriage room entrance. Well-ventilated manure pit convenient to stable. Shed at side of stable. Feeding passage at heads of single stalls.
COST: \$1,375. The estimate is based on New York prices for materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications and "license to build," \$12.00.
Price for bill of materials, \$100.00.
Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of stories, colors, sizes of rooms and kinds of materials may be changed. Second story balcony, harness room bay window, washing stand, shed, manure pit, water-closet and man's room, may be omitted. Single stalls may be planned in place of box stalls.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.

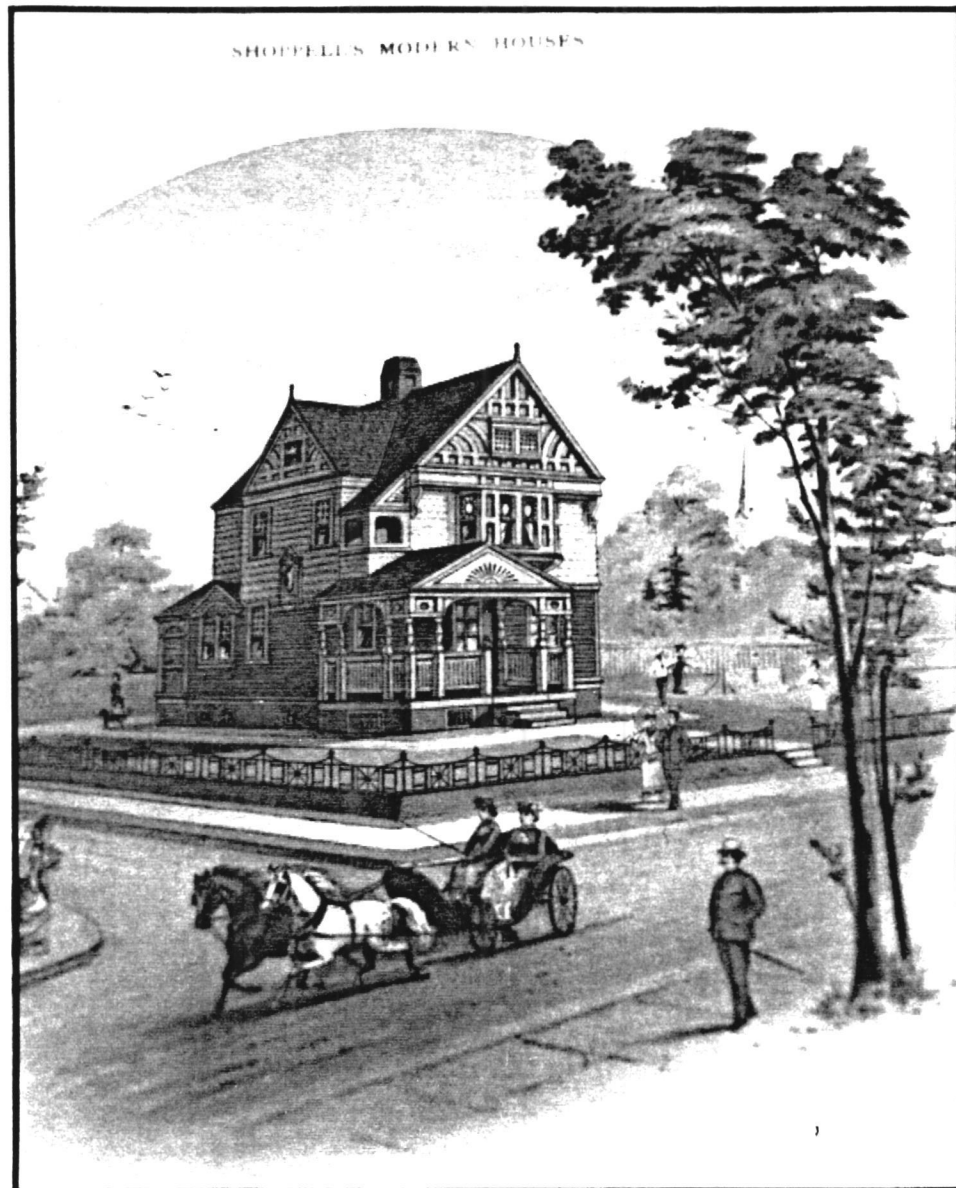
DESCRIPTION.

For explanation of all symbols (p. 1) and on page 80.
GENERAL DIMENSIONS: Width, 24 ft.; depth, 30 ft. Height of second story, 8 ft. 6 in.; second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and roof, shingles; roof, slate.
INTERIOR FINISH: Soft wood flooring throughout; removable top flooring in main. Soft wood trim and stairway. Hay-chest, built-in cupboards, and wash and toilet, soft wood. Stall, hard wood. Stall posts solid. Remainder of interior wood-work left unfinished.
COLORS: Clapboards, shingles and brick-work, Pompeian red. Trim and rail conductor, dark green. Outside doors, dark green with light olive green panels. Porch floor, dark red. Porch ceiling, light olive green. Wall shingles dipped and brush coated Pompeian red.
ACCOMMODATIONS: The principal rooms, closets, stalls, etc., are shown by the floor plans. Man's room partitioned off in second story; harness room, may be heated by a stove in harness room.



GENERAL DIMENSIONS: Width, 30 ft.; depth, 40 ft. Height of second story, 8 ft. 6 in.
EXTERIOR MATERIALS: Foundation, stone; first story, clapboards; second story, gables and roof, shingles.
INTERIOR FINISH: Soft wood flooring. Mangers and stalls, hard pine. Harness case and partition between carriage room and stable, soft wood. Interior expanded.
COLORS: Wide lower clapboards, dark red; other clapboards, light brown. Trim, cornice, etc., pale brown. Outside doors, seal brown with light brown panels. Shutters, dark green. Roof shingles dipped and brush coated red stain.
ACCOMMODATIONS: Stable, closets, etc., are shown by the plan. Hay loft (reached by a step-ladder) has two grain bins provided with galvanized iron tubes leading to feed boxes in stable; also ample space for hay storage. Space for two carriages and two horses. Sliding door connects stable and carriage room.
COST: \$2,675. The estimate is based on New York prices

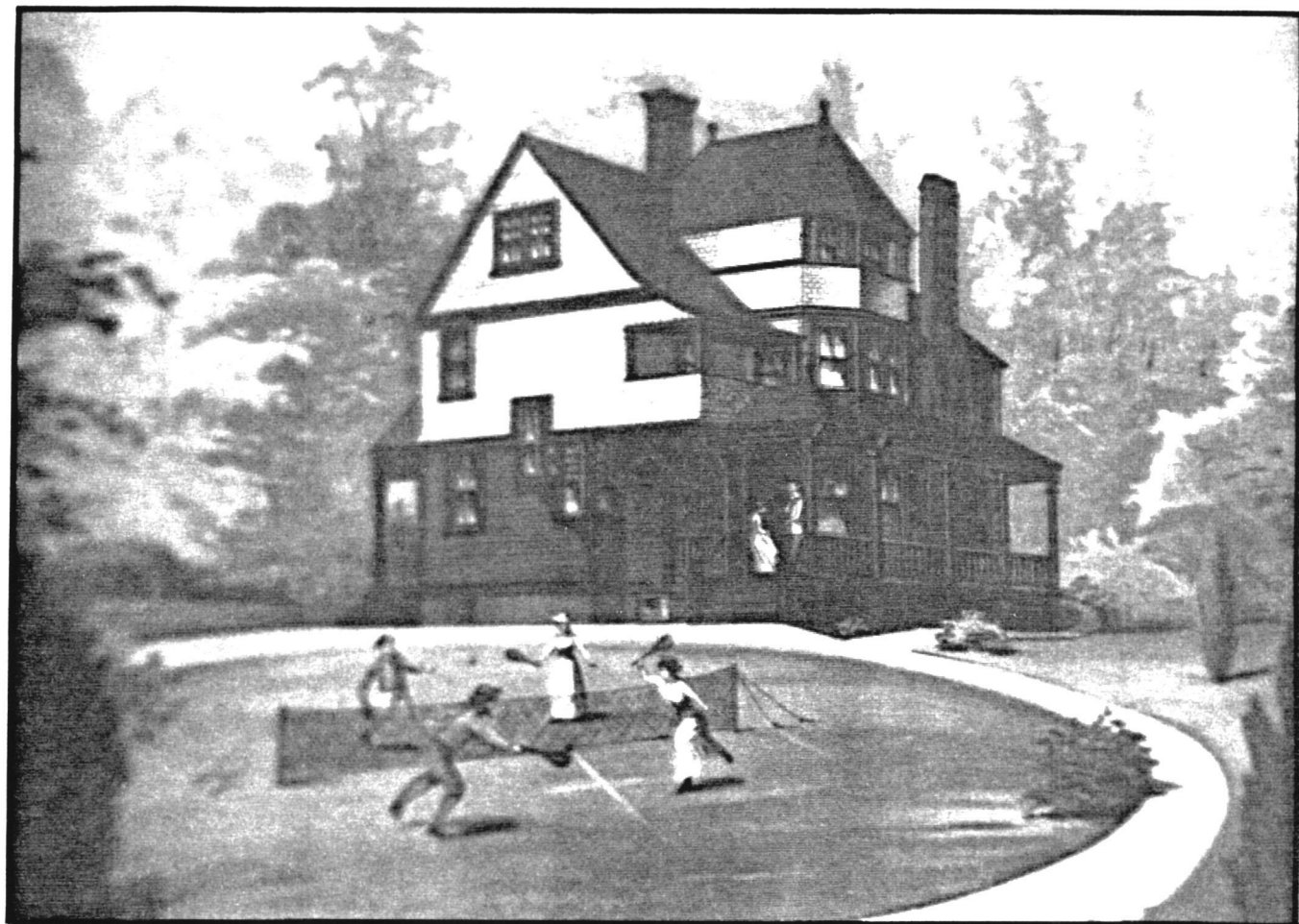
for materials and labor. In many sections of the country the cost should be less.
Price for working plans, specifications and "license to build," \$12.00.
Price for bill of materials, \$150.00.
Address, THE CO-OPERATIVE BUILDING PLAN ASSOCIATION, Architects.
FEASIBLE MODIFICATIONS: Heights of story, colors, sizes of rooms and kinds of materials may be changed. Roof ridge may be continued to stable end and terminate at a gable, same as at carriage room end. Box stall may be divided, forming two single stalls. Grain bins and galvanized iron tubes may be omitted. Roof lines may be omitted.
The price of working plans, specifications, etc., for a modified design varies according to the alterations required, and will be made known upon application to the Architects.



Appendix E, No. #1

Examples of color recommendations,

Shoppell, R.W., Modern Houses, Beautiful Homes, New York, 1887



Appendix E, No. #2

Examples of color recommendations,

Shoppell, R.W., Modern Houses, Beautiful Homes, New York, 1887

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